



CHAPTER IV

EXISTING CONDITIONS SURVEY

INTRODUCTION

The purposes of the description of the existing conditions of the Department of Housing and Urban Development are:

To document the current condition of the building through written and pictorial means.

To assess the extent to which age and later alterations have affected the appearance of the building as originally conceived and executed during the construction of the original building.

The chapter is based on an on-site examination of the entire building, both exterior and interior, and comparison with original drawings, specifications, photographs and construction correspondence to determine what alterations have been made to the building fabric and materials. Significant architectural features, materials and systems are described, alterations that have either compromised or destroyed original architectural fabric are identified, and conditions of the building are assessed. More detailed analyses of conservation problems are discussed in Chapters V-X.

Although the condition survey covered the entire building, both exterior and interior, the examination has focused mainly on significant portions of the building and areas most visible to the public. On the building interior, individual and typical office spaces from the second through the tenth floors were surveyed for significant alterations or conservation problems only.

Condition photos, including present day retakes of the historic original photographs contained in Chapter III (Illustration Nos. 3-44 through 3-65), are located at the end of the chapter.

SITE AND LANDSCAPING

The Department of Housing and Urban Development Building is located at 451 Seventh Street SW, Washington, DC, two blocks south of the National Mall. The building, ten stories high with a penthouse above, sits on a rectangular five and one half acre block in southwest Washington, DC facing Seventh Street between D Street on the north, the Southwest Freeway frontage road on the south, and Ninth Street/L'Enfant Plaza to its rear. The building runs north/south on the lot, with the east elevation (Seventh Street) considered the main facade. To the north, across D Street, is the General Services

Administration National Capital Region/US Department of Education building which was built prior to construction of the HUD Building; to the east, across Seventh Street, is the US Department of Transportation building, constructed concurrently with the HUD Building (completed in 1969); to the south is a frontage road, which was built during construction of the building which parallels the Southeast Freeway/I-395; and to the west is L'Enfant Plaza, constructed in 1970, shortly after the completion of the HUD Building, which contains office and retail space, a hotel, and an entrance to the Metro subway.

Although there have been alterations to the site, much of the landscaping around the building remains similar to the original design intent. Two virtually identical drawings were issued, one by Marcel Breuer & Associates and Nolen Swinburne and Associates in 1965 and one by the General Services Administration in 1969. The later plan was identical with the exception of the elimination of some grass which had been placed along the 7th and D Street sidewalks (see Illus. No. 3-1). The drawings showed nineteen 18-20' willow oaks on the west elevation with grass groundcover; two 18-20' Japanese pagodas on the D Street (north) elevation with 1170 English ivy plants; and eleven 18-20' Japanese pagodas with over 10,000 English ivy plants spanning the south elevation. Some of the original willow oaks remain on north half of the west elevation and Japanese pagoda trees and English ivy are still used on the north and south elevations.

SEVENTH STREET (EAST) ELEVATION - THE PLAZA

Along Seventh Street, the front elevation of the building was originally approached from a large monumental plaza which was paved entirely in random sized rectangular 1-1/2 inch natural cleft New York bluestone flagging (Illus. Nos. 3-45 and 3-47). In the center of the plaza, adjacent to the street, were two ramps serving as an entrance and exit to a three level parking garage located beneath the plaza. Running just inside the ramps along the length of the building was a driveway pickup area which was set off from the pedestrian area by pyramidal 19 inch high cast stone stanchions. The stanchions were 2'-3-3/8" across, designed to fit flush into the hexagonal concrete paving originally designed for the plaza paving (Illus. No. 3-5). Seven precast concrete light standards with 55-lamp fixtures were placed along the length of the plaza.

The Seventh Street (east) elevation plaza has undergone major alterations since its original construction in 1968 (Illus. Nos. 4-1 through 4-6). At some time not long after completion of the building, the stanchions were removed and portable concrete planters set along the driveway area, due to complaints that the stanchions were too low to be seen by automobile drivers. The bluestone paving, which originally covered the entire plaza area from the edge of the building out to the concrete sidewalk along the street, was removed and replaced during replacement of the membrane and fill slab in 1978. Also during this renovation, the entrance and exit ramps and driveway pickup area were paved with concrete with a granite curb, and existing wrought iron handrails along the ramps were removed and replaced with two aluminum pipe rails (Illus. No. 4-6).

Random sized rectangular bluestone flagging remains throughout the pedestrian areas on the east plaza and continues around the four elevations of the building beneath the colonnade, which runs out to the four stair towers at each end wall. Although 1-1/2" thick New York bluestone flagging was used originally for the construction of the plaza and surrounding the building, during the 1988 waterproofing renovation of the plaza it was replaced with 1" thick flagging on pedestrian areas, with 1-1/2" thick flagging used on the parking areas. Other repairs to the flagging have been made over the years and although the flagging is similar to the original in design and shape, according to the original drawings and Herbert Beckhard, partner with Marcel Breuer, the original stone did not contain any "red or purples."¹ The bluestone paving is in poor to fair condition with dirty and broken paving. The bluestone under the colonnade is in poor condition with moss growing in the mortar joints, staining and cracking extending the length of the facade, possibly caused by ponding of water due to lack of drainage. Areas of the paving across the plaza are cracked, broken, loose and missing; areas of the plaza were being removed and relaid during this survey, with much of the damage caused by automobiles and trucks driving on the plaza.

An original presentation drawing for the Seventh Street plaza (Illus. No. 2-13) showed a row of trees along the street edge, but no greenery on the plaza itself. Several trees still remain along the street edge, set into tree pockets in the concrete sidewalk; there are also several gaps where trees have died and have not been replaced (Illus. No. 4-1). In addition, 29 large concrete landscaping boxes, 34 inches high and ranging from 4 foot square to 2 foot deep and 5 feet long, have been added which sit on either side of the southeast and northeast entrances and run the length of the plaza following the edge of the paved driveway pickup area (Illus. Nos. 4-3 through 4-5). The boxes vary in finishes, some have formwork marks, some have smooth finishes, and others rough pebble finishes and are in varying condition, ranging from good to fair, with chipped edges and mismatching patches. At the northeast corner of the building, a small landscaped area with a concrete curb has also been added. It contains two small trees, ornamental grasses and English ivy, with the north flagpole sitting on the south edge of the box. At both the north and south ends of the east facade of the building are small originally landscaped areas which hold rectangular concrete lighting pits; these still use English ivy as groundcover, as originally designed.

Seven street light fixtures with multi-light globes mounted on 13'-6" tall concrete standards (Illus. Nos. 3-45 and 3-47) were originally placed running lengthwise across the plaza along the driveway pickup area. The concrete standards were designed with eight sided bases designed to set squarely into the originally planned hexagonal concrete paving (Illus. No. 3-4). The original globes were designed by Marcel Breuer and Herbert Beckhard of Marcel Breuer & Associates and consisted of 55 bulbs attached to an 18 inch diameter aluminum sphere (Illus. No. 3-4). Although the concrete standards are still in place, the globes were replaced in 1988 with simple clear glass globes. The concrete standards and glass globes are in good condition, although metal bands, which have been

¹Interview with Herbert Beckhard at the HUD Building, June 8, 1994.

used to attach signs to six of the seven standards, have corroded and have left rust stains on the standards (Illus. No. 6-14).

On the southeast end of the east plaza, marking the main entrance, is a 76 foot tall ceremonial reinforced concrete sculpture, referred to as the "banner" (Illus. Nos. 3-49, 4-7 and 4-8). The banner consists of a rectangular concrete base, 20' x 4' x 8'-6" high and a 20' wide, 2'-8" deep and 76' high thin rectangular slab of concrete which sits perpendicular atop the base. Near the top on the front are 1'-6" tall, 18 gauge satin finish stainless steel letters which read "Department of Housing and Urban Development" (Illus. No. 3-2). On the back of the banner near the top is a small rectangular concrete section on which are mounted lights to illuminate the building and its main entrance at night (Illus. Nos. 3-50 and 4-9). On the base of the banner are protective galvanized steel angles with a bronze casting finish. The banner is in good condition, although dirty from pollution. There are water stains on the bottom of the main section which is cantilevered over the base, caused by rainwater running down the banner. A fabric banner celebrating 60 years of the Federal Housing Administration has been temporarily mounted to the front (Illus. No. 4-8).

Sixty-four 1000 watt lights are mounted both on the back of the banner and on a concrete "wing" which attached to the back of the banner 45'-0" above its base (Illus. No. 3-50 and 4-9) and are used to light the building at night. These lights are in good condition. A trough cast into the base of the banner holds four 1000 watt adjustable light fixtures used to light the building name on the front of the banner. The fixtures are broken and appear to be in poor condition.

Rectangular concrete pits with metal grates were placed at the southeast and northeast corners of the building to hold spot lights to light the building facade. One pit was designed to hold eight type "OC" fixtures with 1500 watt bulbs; the other was to hold 5 "OC" fixtures with 1500 watt bulbs and 2 "OC" fixtures with 1000 watt bulbs.² Fixtures in the southeast and northeast corners are broken and in poor condition.

A 40' tall tapered black anodized flagpole installed originally at the south end of the plaza was removed in 1971-72 and replaced with an 80' flagpole (Illus. No. 4-7), along with an additional 80' flagpole placed at the north end of the plaza at the edge of the driveway (Illus. No. 4-2). Except for height, the new flagpoles are similar in design to the original, constructed of tapered black anodized aluminum, 14" in diameter, with 14" black anodized aluminum balls on top, set in concrete bases with 5'-8" diameter black anodized cast aluminum collars. The south flagpole has a USA flag and the north flagpole has a HUD flag flying; both are in good condition.

Large aluminum signs with raised aluminum letters set into blue backgrounds with the building name have been added to both the north and south ends of the east elevation at the building corners (Illus. No. 4-29). Both signs are in good condition.

²"Banner and Floodlighting," Drawing 27-3, GSA Drawing No. 317, January 28, 1969.

Aluminum railings have been added along the entrance/exit ramps to the parking garage in the center of the plaza, replacing original railings which were wrought iron (Illus. No. 4-6). The railings are in good condition. The concrete walls of the ramps are cracked and have exposed, corroding reinforcing steel. There are also mortar patches around the light fixtures mounted on the ramp walls.

NINTH STREET (WEST) ELEVATION

As originally designed, the west elevation is divided into two areas which are separated by the north wall of the loading dock area below (Illus. No. 4-17). The northern half is a small landscaped area with trees and grass (Illus. No. 4-19). Due to the addition of a bluestone flagging walkway and concrete stairs leading to L'Enfant Plaza and a playground area, the area currently has eleven instead of nineteen willow oaks originally shown on the landscaping plan, with grass across the main courtyard. A number of smaller tulip magnolias, two holly trees and flowering plant beds have also been added, which were not shown on the original landscaping scheme, as well as a concrete sidewalk which crosses the area and a concrete bench. A concrete handicap ramp with vertical formwork marks and metal grating and pipe railing painted silver leading from the northwest entrance of the building to the L'Enfant Plaza building has been recently installed, which encircles the playground area and provides a gate and fence around the entire play area (Illus. No. 4-18). The ramp has black plastic lamps mounted on posts along the ramp. Two modern black metal trash cans have also been added, one on the walkway and one on the ramp. Due to the removal and reinstallation of the playground area, the playground equipment has been modernized and has wood chips as a surface material.

The southern half of the elevation has a raised grass covered area which has a seven large rectangular metal grates, 8'-0" wide by 32'-4" long, for providing light and ventilation to the underground service area, identical to that shown on the original plans (Illus. No. 4-22). The grates are in good condition. The raised area is bounded by the east by a concrete retaining wall with a metal railing, constructed of flat bar stock, which follows the curve of the west elevation (Illus. No. 4-21). The railing, originally painted white, has been painted dark gray, is corroding and is in need of repainting. One section of the metal railing has been removed and a wooden stair installed to provide access over the wall to the raised lawn. On the north end of the raised area, the concrete retaining wall which is also the north wall of the truck loading area, serves as the north boundary for the raised grass covered area and divides the west elevation into two halves.

A pair of screen walls made up of hollow patterned concrete triangular blocks set in rows five high, were located along both the north and south ends of the west elevation between the pilotis to act as a shield for the parking areas (Illus. No. 4-40). On one section of wall on the north end, the coping is missing and has been replaced with a row of concrete blocks labeled "TOP." Both pairs of walls are extremely dirty, due to exhaust from automobile pollution.

Other changes to the original west elevation include the addition of 21 painted wood and metal park benches, mounted on concrete blocks, which currently sit along the edge of the building outside the pilotis (Illus. No. 4-20) and replacement of the bluestone paving under the colonnade. The benches are in need of painting. The bluestone paving on the west elevation does not have vehicular traffic and is in good condition.

NORTH (D STREET) ELEVATION

The north elevation remains in its original configuration, with parking areas both outside the building perimeter and extending under the pilotis in the colonnade area (Illus. Nos. 4-29 and 4-30). The area outside the building is paved with asphalt with the area under the building colonnade paved with 1-1/2 inch bluestone flagging, similar to the rest of the building. The bluestone paving under the colonnade has been removed and replaced with new 1-1/2 inch paving. It is in good condition except for stains from automobile parking.

The landscaping plan on the north elevation follows the original design with English ivy used as groundcover on the corners of the facade and along a narrow edge strip separating the parking area from the sidewalk, with two 18-20' Japanese pagoda trees on each end of the edge strip. The trees and ivy are in good condition.

A screen wall made up of hollow patterned concrete triangular blocks, set in rows five high, are set along the property line on D Street between the parking area and the sidewalk to shield the parking area from the street (Illus. No. 4-31). One section of wall, 46'-11-1/4" long, which was located at the northeast end stair tower along D Street, is no longer in place and has been replaced by a low concrete wall. The triangular block wall remains in the center of the elevation between the parking area and the sidewalk. The walls are dirty from automobile exhaust and pollution, coping is missing on one section, and the base is cracked in several locations.

Precast concrete stanchions, approximately 19 inches tall, were originally located on either side of the pilotis to protect them from traffic. Several are missing; several have become unattached from the bluestone paving; others have chips and gouges caused by vehicles.

An original concrete light standard, 13'-6" high, identical to the seven standards located on the Seventh Street (east) elevation, remains in place in the center of elevation on the strip between the parking area and the sidewalk (Illus. No. 4-30). The standard is in good condition, although the 55-lamp original globe was replaced with a clear glass globe in 1988. The replacement globe is also in good condition.

A hexagonal shaped parking attendant booth, designed by Marcel Breuer and Associates and constructed shortly after the completion of the building in 1970, remains on the north elevation beneath one of the pilotis (Illus. No. 4-33). Built of wood frame construction and painted white with a stucco finish, it is in poor to fair condition, with stains, patched areas and gouges.

SOUTHWEST FREEWAY FRONTAGE ROAD (SOUTH) ELEVATION

The south side elevation retains its original character in both configuration and materials. Alongside the building is an elevated graded area with an asphalt parking lot located outside the building perimeter and underneath the building pilotis on the bluestone flagging (Illus. No. 4-36). The original bluestone beneath the pilotis has been removed and replaced with new bluestone and is in good condition except for stains from automobile parking. Yellow parking stripes have been painted on the paving.

Landscaping on the south elevation follows the original landscaping scheme, with eleven 18-20' Japanese pagodas, five on a central island in the parking area, four along the outer edge of the property, and two on the west side of the below grade service entrance, with over 10,000 English ivy plants used as groundcover on all areas not paved (Illus. Nos. 4-36 and 4-37).

Precast concrete stanchions, approximately 19 inches tall, are set on both sides of the pilotis to protect them from vehicular traffic, are still in place although several have been removed (Illus. No. 4-38). The remaining stanchions are typically chipped or gouged from vehicular traffic and several have become unattached from their bases.

A screen wall made up of hollow patterned triangular concrete blocks, set in rows five high, is located on the west end of the parking area between the pilotis (Illus. No. 4-40). The wall is heavily soiled from automobile exhaust from the adjacent parking spaces.

A 13'-6" tall cast concrete light standard, similar to the seven on the east elevation and one on the center of the north elevation, remains in the central island of the parking lot, centered on the elevation. The original 55-lamp globe was been replaced with a clear glass globe in 1988. The standard is in good condition, as is the new glass globe.

A parking attendant booth, designed by Marcel Breuer and Associates, was constructed shortly after the completion of the building in 1970. The booth on the south elevation was replaced in 1988 and relocated in 1990 (Illus. No. 4-35). It is believed that this booth replicates the one originally constructed, although its original location is not known. The booth is of wood frame construction with a stucco finish and is in good condition.

The southern end of the site is bordered by a service or frontage road along the Southwest Freeway/I-395. A driveway framed by pilotis above and bordered by concrete retaining walls with vertical tongue and groove formwork exits off the service road and contains a below grade entrance with a roll-up door into a loading dock service area (Illus. No. 4-39). The concrete retaining wall runs along the property line beginning on the south side and continues along the west side. The wall is in good condition.

A large round white satellite dish, supported on a steel pipe, has been mounted in the lighting pit at the southwest corner of the building. A chain link fence with a barbed wire top has been placed around the satellite dish to prevent unauthorized access. The dish is almost completely concealed by the stair tower.

BUILDING EXTERIOR

The Department of Housing and Urban Development Building is a ten story cast-in-place and precast reinforced concrete building designed in the shape of a double "Y" or elongated "X" with a central core curving out to diagonal wings. The building is 588'-0-1/2" long, 368'-7-1/2" wide overall and 129'-9" feet high with a 28'-6" high penthouse above. There are two basement levels below the main first floor level of the building with a three-level underground parking garage beneath the entrance plaza on the east elevation and a loading dock service area beneath the south half of the west elevation.

WALLS

CONCRETE

The four main facades of the building are made up of a series of 1,584 load bearing precast concrete window wall units, each 3 feet thick and weighing 12-13 tons, which were fabricated for appearance and sun shading, as well as structural and mechanical functions. The units on the second through ninth floors are approximately 10 feet wide and 12 feet high; on the tenth floor they are 10 feet side and 17 feet high. The units have 1/2 inch horizontal and vertical joints which are filled with sealant.

The precast window units are deeply faceted inward towards the plate glass windows and slope sharply inward between their mullions at top and bottom to conserve energy by providing shading from the sun. The width of the mullions varies to reflect changes in structural and mechanical requirements from top to bottom of the building (Illus. Nos. 3-52 and 4-23). On the first three floors, the two adjoining units form a mullion face 2'-10" wide; fourth through seventh floors have a 1'-2" mullion face; and the top two floors return to the larger dimension. The columns are wide and solid at the bottom for structural reasons, and wide and hollow at the top because of the air conditioning system, which is a down-feed system with the greatest air volume at the top.³ On the top of the panels, located 6 inches out from each window, is a drip edge or reveal, 1/2 inch wide and deep, designed to prevent water from running down the panel onto the glazing. The precast window units are in good condition with the exception of miscellaneous hairline cracks, and some soiling, which is heavier at the sides, heads and sills of the window panels not washed by rain (Illus. No. 6-7).

The weight of the concrete exterior panels of the building are carried by 44 exterior, chamfered, cast-in-place, exposed concrete pilotis, 17 feet high, 40 feet long and 4 feet

³"Window Unit Details," The Department of Housing and Urban Development Building, Financial Records, Project Book 1, DHUD, no date, Papers of Marcel Breuer, Box 7, National Archives of American Art.

thick⁴ spaced on 40 foot centers. The large concrete trees taper downward to the ground with smooth faced concrete on the front of the pilotis and concrete formwork marks in a diagonal and tongue and groove random board-width pattern on the sides of the columns. The concrete beams above have similar formwork marks and taper upward from the centerline of the columns with a reveal at the third points. The concrete trees and beams are in good condition, although pieces of metal which were in the forms during construction have corroded and are rusting through to the exterior of the columns. Some of the concrete trees have chips and gouges. The backs and sides of the trees, not washed by rain, are more heavily soiled than the fronts of the pilotis. On the east, north and south elevations of the building, spotlights and security cameras with exposed conduit have been mounted to the beams above the pilotis (Illus. Nos. 4-10, 4-30 and 4-38).

GRANITE

At the ground floor level, the wall of the building is set in, leaving an open arcade or colonnade between the concrete trees and the wall on the four elevations of the building extending out to the stair tower end walls. The ground level exterior walls behind the colonnade are constructed of cast-in-place concrete faced with gray honed "Cherry Hill" granite supplied by the French Creek Granite Company. The panels are in good condition with some glue stains from signs which have been removed and general soiling.

The cornerstone, made of polished French Creek "Cherry Hill" granite, is located in center of the east facade on the first floor level (Illus. No. 4-15). It is in excellent condition with the exception of minor soiling.

At the ends of the four wings of the building are unfenestrated 8 inch thick cast in place concrete end walls attached to a steel frame which are cantilevered out over the first floor of the building. The end walls have protruding rectangular blocks which contain stair towers that run from the second through the tenth floors. As on the building colonnade on the first floor, the walls are faced with large gray honed "Cherry Hill" granite from the French Creek Granite Company. The granite panels are anchored with six stainless steel anchors per panel with stainless steel weep holes.⁵ Repairs were made to the four end walls in 1972 and for the most part, again in 1993. Defective mortar and sealant joints were removed and repointed, weep holes cleaned out and replaced with new, granite panels which had developed cracks were sealed, and granite panels which were out of alignment were re-aligned and reanchored.⁶ The panels are currently in good condition, although lightly soiled. Several of the panels are slightly dislocated (Illus. No. 6-1).

⁴As specified in Section 5, Samples of original specifications, "Specification and Bidding Forms, Housing and Home Finance Agency," (Washington, DC: General Services Administration, 1965), p. 5-7.

⁵Ibid.

⁶"Elevation and Detail," Drawing 27-32, January 14, 1972.

WHITE CEMENT PLASTER

The colonnade which circles the building beneath the second floor, set between the recessed first floor and the 44 pairs of precast concrete pilotis, has an overhead soffit of white cement plaster with sand finish flush metal access panels and light fixtures (Illus. Nos. 4-14, 4-25 and 4-26). Alterations to the ceiling include the addition of sprinkler heads. The original lights and metal access panels remain. The ceiling is in basically sound condition, although there are some stains, soiling, and cobwebs. Most of the metal access panels are corroded.

GLASS CURTAIN WALLS

The first floor of the building has glass curtain walls on the southeast and northeast entrances on the east elevation (Illus. No. 4-12) and along the cafeteria on the west elevation (Illus. No. 4-25). The walls are 3/8 inch polished plate glass panels set into black anodized aluminum frames. The walls on the east elevation at the entrances have been replaced during renovations to the entrances, although they replicate the original in materials, the design has been modified by the replacement of a portion of the aluminum and glass curtain wall. The curtain wall on the west elevation runs the length of the cafeteria. It is original and is made of 3/8 inch polished plate glass panels with black anodized aluminum frames. The window panels are in fair condition; the aluminum frames are pitted and soiled and the finish is worn.

OPENINGS

WINDOWS

There are 1,584 windows on the building, one in each precast concrete window unit. The windows are 1/4 inch float glass set in black anodized aluminum sash, designed to pivot vertically. The actual glass area of the windows of each unit are identical in size (6'-4" wide by 3'-9" high) and are centered slightly above the center of the precast concrete unit. The window glass and black anodized window aluminum sash are in good condition. Along the south elevation of the building, solar film has been recently installed to the exterior of the glass. Plans have been made to do the remainder of the building, one elevation per year for 1995-1997.

Installed on each of the 1,584 windows of the building are Venetian blinds. The original blinds were 2 inch baked-on gray flexible steel, with 1-1/2 inch wide gray tapes and gray nylon cords. Most of the windows still have the original blinds, with new white tapes and cords added over the last 25 years. A few of the windows have had gray 1 inch wide (mini-blinds) installed. The blinds are in varying condition, ranging from good to poor.

ENTRANCES

Entrances to the building are located under the colonnade: two on the east (Seventh Street) elevation and five on the west (Ninth Street or L'Enfant Plaza), with fire stairs located at each of the four end towers and two stairways on the east elevation leading down to the parking garage. There are three entrances/exits for vehicular traffic: the two parking ramps on the east plaza and the entrance to the underground loading dock area located at grade on the south elevation.

The two original entrances on the east elevation originally contained two black anodized finished aluminum revolving doors with two black anodized finish aluminum outswinging aluminum doors on either side, with glass curtain walls set in aluminum frames to the left, right and above the doorways, with metal headers above. The space above the headers, from the building interior to the above ceiling space over the sheltered parts of the plaza, was open. An early photograph of the space shows the area over the doorway with drapes; these have since been removed.

Modifications to the entrances have been made over the years. In 1973, doors with overhead power operators, ramps and aluminum railings with panels were added on either side of the revolving doors with signs reading "Door In" on the entrance door and "Stand Clear - Automatic Doors Swinging Out" on the exit door.⁷ The revolving doors were removed in 1985 when alterations were made to the northeast lobby in 1985 which were "similar to renovations to the southeast lobby."⁸ Scope of work included new aluminum and glass wall assembly and new electronically controlled security locks. The southeast (main) entrance currently has five doors with automatic openers; the northeast entrance currently has three doors with one door opening automatically (Illus. No. 4-12). Both entrances are in good condition.

Other changes to the northeast and southeast entrances include the addition of metal grate doors and walls at the top of the stairways leading down to the parking garage and basement, bicycle storage racks and fences to enclose the bicycles (Illus. No. 4-13). Currently, the area outside the northeast entrance beneath the northeast end wall is being used for motorcycle parking.

The west elevation has five entrances; main entrances into each elevator lobby at the north and south and three entrances into the cafeteria. The northwest entrance originally had three doors with 1/4 inch clear flat glass set into black anodized aluminum doors and frames with a large 3/8 inch polished plate glass transom above; automatic door openers were later installed and in 1993-1994, a new stainless steel air lock vestibule with automatic opening sliding doors were installed at the northwest entrance (Illus. No. 4-28).

⁷"Power Doors and Ramp Details," Drawing 3-1, August 28, 1973 and "Power Doors, Details," Drawing 3-2, August 28, 1973.

⁸"Repairs Leaks at North East Entrance," Drawings 3-1 and 3-2, December 13, 1984.

The entrance on the southwest side of the building remains as originally constructed with three 1/4 inch clear flat polished glass doors set in black anodized frames with a large 3/8 inch polished plate glass transom above (Illus. No. 4-27). The doors open out with panic bars on the inside and push plates on the outside of the door. The entrance on the southwest side is open during the day for exiting only; large signs on each door read "Door Closed." The finish on the doors appears original; it is worn.

There are three entrances to the cafeteria, all with original 1/4 inch flat clear flat polished glass set in black anodized aluminum frames (Illus. No. 4-25). The main entrance opens into the center of the cafeteria dining area and has two 1/4 inch clear flat polished glass doors set in black anodized frames with a large 3/8 inch polished plate glass transom above the two doors. The doors remain, although they have been permanently closed off, with the space inside the doors converted to a tray storage area. Two additional single doors are located 60'-0" on either side of the main entrance (Illus. No. 4-24). The doors are 1/4 inch clear flat polished glass set in black anodized aluminum frames with exposed concrete surrounds and headers. These doors remain in their original condition but have been permanently closed, except for emergency exiting purposes. Finish on all the doors appears worn.

At each of the four end wall stair towers are fire stairs which lead from the upper floors down to the first floor under the colonnade (Illus. No. 4-16). The stair towers have metal grate doors and grates at the first floor enclosing each of the stairs. The metal grate doors and grates are in fair condition with slight corrosion and soiling.

The entrance/exit ramps to the parking garage are located in the center of the Seventh Street (east) plaza, with the exit ramp on the south and the entrance ramp on the north. The original entrance and exit ramp doors were replaced with electric steel roll-up doors in 1990; the new doors are in good condition.

A service drive off the frontage road along the south elevation leads to a roll-up door to the loading dock area (Illus. No. 4-39). The original roll-up door was replaced in 1989, as was the guard's booth located just inside the entrance; both are in good condition.

LIGHT FIXTURES AND SECURITY CAMERAS

At the time the building was originally constructed, light fixtures on the exterior of the building itself were limited to the recessed lights in the white cement plaster ceilings of the arcade (Illus. No. 4-26). The lights were covered with metal louvers which are corroding, bent or missing.

Large spotlights with exposed conduit were added between 1990 and 1992 to the east, north and south elevations of the building (Illus. Nos. 4-3 through 4-6, 4-10, 4-30, 4-35 and 4-38). The lights have been mounted to the beams above the pilotis at the first floor level. The fixtures appear to be in good condition. Security cameras have also been installed in a similar fashion.

In 1989, new lights were installed to illuminate the HUD street level signs, located at the northeast and southeast corners of the building. They are in good condition.

MISCELLANEOUS METAL

Gutters and downspouts were added between the pilotis above the southeast (main) and northeast entrances at some time prior to 1983 (Illus. No. 4-12). The drains consist of a rectangular piece of copper flashing covering the opening between the beams above the pilotis, with copper gutters and downspouts running to the center of the pilotis and down to the ground. The drains are in good condition.

Bicycle racks with fences have been added alongside the window walls at both the northeast and southeast entrances (Illus. No. 4-13). Both the racks and wrought iron fence have been painted black and are in good condition.

ROOF

The roof is flat with the exception of a 28'-6" foot high mechanical penthouse centered between the two cores of the building. The penthouse has two levels at the elevator machine rooms with the rest of the penthouse one story with a very high overhead clearance for pipe and duct space. The walls of the penthouse are exposed concrete divided by joints with a wood form finish. The walls contain large aluminum mill finished louvers which have been painted to match the color of the adjacent painted concrete penthouse walls. The penthouse appears to be in good condition except on the east elevation where, the walls are heavily stained below the louvers due to exhaust (Illus. No. 4-42). The entire building was re-roofed in 1973 or 1974⁹ and again in 1992-1993, when a new liquid membrane roof, "Inverted Roof Membrane Assembly" (IRMA) was installed. The membrane is covered with insulation and gravel. The roof is currently in excellent condition.

On the south end of the building is an observation deck which is accessible from the core stairs on the southeast side of the tenth floor and a handicapped lift from the penthouse which was added in 1993. The original deck was added in 1970, shortly after the building's completion with a redwood deck with flat wooden benches;¹⁰ it was removed and replaced during replacement of the roof in 1973-74. After the roof was replaced in 1992-93, the observation deck was laid in 2 foot square concrete pavers with aluminum pipe rails with picnic tables, benches and trash receptacles for employee use. It is currently in excellent condition (Illus. No. 4-43).

⁹"Roof Plan and Details," Drawing 27-39, March 9, 1973 and "Roof Plan," Drawing 3-1, March 15, 1974.

¹⁰"Plan & Detail," Drawing 27-20, June 26, 1970.

BUILDING INTERIOR

The Department of Housing and Urban Development Building contains ten stories, a penthouse, a basement and a sub-basement, three levels of underground parking located underneath the east plaza, and a loading dock area located under the southern half of the west plaza. The first floor, set back behind the columns that carry the structural wall, contains north and south entrance and elevator lobbies, a kitchen, two serving areas and a large cafeteria dining room. The second through tenth floors each contain north and south elevator lobby core areas and office space, with executive office suites located at the southern end of the fourth through ninth floors and executive office space for the Secretary and Deputy Secretary located at the southern end of the tenth floor, both behind the south elevator lobby core area. Also on the tenth floor is the Departmental Conference Room.

This condition survey is divided into public areas, which includes entrance and elevator lobbies, telephone alcoves, toilet rooms, cafeteria, corridors and stairwells; and private spaces, which includes typical offices, typical conference rooms, executive office suites, the Library, Departmental Conference Room, Secretary and Deputy Secretary's suites, penthouse, basement and subbasement, and the parking garage.

PUBLIC SPACES**FIRST FLOOR**

The first or ground floor is set back behind the pilotis that carry the structural wall above. The floor contains north and south entrance and elevator lobbies, public toilet rooms, telephone alcoves, a kitchen and two serving areas on the east side, and a cafeteria dining room looking out onto a landscaped court on the west side of the building. Its configuration remains as originally constructed.

Southeast (Main) and Northeast Entrances

The primary entrances to the building are located at the northeast and southeast corners of the first floor, with the southeast entrance considered the main entrance to the building. These entrances originally had two 1/4" clear flat polished glass and black anodized finished aluminum revolving doors with two 1/4" clear flat polished glass and black anodized finish aluminum doors on either side, with 3/8" polished plate glass curtain walls set in aluminum frames to the left, right and above the doorways, with metal headers above.

Both the northeast and southeast entrances have undergone major alterations since the building's construction. In 1973, doors with overhead power operators, ramps and aluminum railings with panels were added to the doors on either side of the revolving doors with signs reading "Door In" on the enter door and "Stand Clear - Automatic Doors

Swinging Out" on the exit door.¹¹ In 1985, alterations were again made to both entrances,¹² including the removal of the revolving doors and installation of new aluminum and glass curtain wall assemblies and new electronically controlled security locks. At this time, an inner glass curtain wall and doors were added just inside the outer doors and connecting to the previously freestanding columns in the lobby, creating air lock vestibules. The glass and aluminum doors and walls are in good condition.

Entrance Lobbies

The two lobbies at the north and south ends of the east facade of the building are similar in materials to the exterior of the building with bluestone flagging and concrete walls (Illus. Nos. 3-60, 3-63, 4-45 and 4-50).

Floors in both lobbies are the original random size 1 inch thick rectangular natural cleft New York bluestone flagging, typically 18 by 24 inches laid in a running bond pattern with gray grout joints, which was originally specified to be sealed with an acrylic sealer and have a Butcher's wax finish applied and buffed. The light gray bluestone flagging is intact and in excellent condition, but is barely recognizable beneath multiple layers of sealant and wax, making the floor shiny and dark gray in color. Finishes on the floor are worn through in traffic areas, exposing the original flagging. Most of the floors have been covered with large carpet runners.

The curved exposed bush-hammered concrete north and south lobby walls are original with pour joints running horizontally and control joints vertically. Where the walls met the ceiling, a 1-1/2 inch by 3/4 inch deep negative joint is carried at the hung ceiling line throughout the lobby, including the area of the recessed lighting trough. The walls are in generally good condition, although somewhat soiled and with minor chips and gouges on wall edges and bases. Sealer and accumulated wax from the floors has been splashed up onto the 4 inch high smooth finish recessed concrete base of the walls causing the recessed bases to appear black, similar to the bluestone floors.

The original ceilings in both lobbies were of white cement plaster with joints and recessed lighting fixtures. The ceilings were replaced with a smooth finished gypsum board ceiling during installation of a sprinkler system in the building in 1992; original surface mounted floodlights remain in two light troughs behind the guard desks and above the display cases in the lounge areas. The recessed ceiling fixtures are in their original locations although some of the fixtures have been altered to convert them to surface mounted spot lights. Several diffusers have also been added to the ceilings. The ceilings are in good condition, however, areas around the diffusers are soiled from exhaust. Surface mounted spot lights have been added to the ceiling of the north entrance lobby and to the walls at the northwest entrance lobby.

¹¹"Power Doors and Ramp Details," Drawing 3-1, August 28, 1973 and "Power Doors, Details," Drawing 3-2, August 28, 1973.

¹²"Repairs Leaks at North East Entrance," Drawings 3-1 and 3-2, December 13, 1984.

In the southeast (main) lobby, on the left as one entered the doors, is a narrow fixed 7'-2" high by 1'-4" wide, deep-set guard's observation window and two natural anodized aluminum medallions of the "Great Seal" mounted on the wall (see Illus. Nos. 3-60 and 4-46). Both are in good condition, however, due to the addition of the glass doors and curtain wall inside the main doors, the "Great Seals" are now enclosed within the vestibule area (Illus. No. 4-45).

The southeast (main) lobby originally had a built-in "L" shaped main reception desk faced with "Cherry Hill" granite, designed by Marcel Breuer and Associates as an amendment to the original design contract (Illus. No. 3-60). This desk is no longer in place and has been replaced with another built-in reception desk which has a pebble finish concrete front (Illus. No. 4-45). A security walk through and X-ray machine for all bags and packages have also been added. A built-in desk with similar pebble finish concrete front is located in the northeast lobby; early photos of this lobby show a wooden office desk for use by the guard.

Lounge areas are located on both the north side of the southeast lobby and on the south side of the northeast lobby, just inside the main entrance (Illus. No. 4-47). Original furnishings were selected by Marcel Breuer and Associates as an amendment to their original contract and included furniture, carpeting, plants, drapes and exhibits in the display cases. The drapes were pleated, heavy fabric (color unknown) and ran floor to ceiling covering the lounge areas, walls behind the guard's desks and over the glass transom on the entrance doors. The display cases, 4'-0" high by 8'-0" wide by 1'-4" deep, opened into the lounge areas and had 1/4 inch polished plate glass on the front and 3/4 inch plywood on the back with 1/4 inch compressed cork bonded to the plywood. The drapes have been removed, although the tracks still remain, and furniture and carpeting has been modernized in the lounge areas. Original glass display cases still remain in both lobbies, although the removable rear plywood panel in each has been removed and the cases are currently empty.

In 1993, 100 flags were hung from the ceilings in both the north and south first floor lobbies which cover most of the wall areas and give the lobbies a very bright, but cluttered and busy look.

Southwest and Northwest Entrances

The south entrance on the west elevation remains as originally constructed with three 1/4 inch clear flat polished glass and black anodized finish aluminum doors and frames with a 3/8 inch polished plate glass transom above (Illus. No. 4-51). Aluminum push bars are located on the inside of the doors and aluminum push plates on the exterior of the doors. Signs reading "Door Closed" have been placed on both the interior and exterior of the doors, although the entrance can be used for exiting purposes. The doors are in good condition although the anodized finish is worn.

The north entrance on the west elevation of the building originally had three 1/4" clear flat polished glass and black anodized finish aluminum doors and frames with a 3/8" polished plate glass transom above, similar in design and materials to the southwest entrance. The original glass transom remains and is in good condition. Overhead power operators, ramps and aluminum railings were probably added in 1975, and the entrance was further modified in 1994 when a new stainless steel air lock vestibule was added outside the original doors. New sliding glass and black anodized finish aluminum doors were installed in place of the original doors, with glass sidewalls opening into a oval shaped vestibule with three additional black anodized aluminum and glass doors. The vestibule enclosure is made of satin finish aluminum with a black base. A small guard's station is located inside the entrance.

Double doors to the service areas and cafeteria from both the north and south lobby areas have been painted silver with large silver letters reading "Cafeteria," mounted over the doors (Illus. No. 4-49). Security lights and electrical conduits have also been added to the walls.

First Floor Elevator Lobbies

The first floor north and south elevator lobbies remain essentially as originally constructed (Illus. No. 3-61). They each contain two elevator banks with four elevators each, building directory boards, aluminum mail collection boxes, a pair of men's and women's restrooms off curved vestibules, and telephone alcoves.

Floors are of original natural cleft New York bluestone flagging, laid in 18 to 24 inch random size rectangular blocks with gray grout joints. The floors were originally sealed and then waxed with Butcher's Wax. Today the floors have an excessive accumulation of wax and sealer and are currently shiny and dark gray in color. Beneath the built-up layers, however, the bluestone appears in excellent condition. Carpet runners currently cover the central portion of the elevator lobbies, concealing the floors.

At the ground floor elevator banks, the concrete has vertical formwork marks and a distinctive horizontal chamfered pour joint midway up the wall; the eight elevator hoistway openings have the same chamfered joint between the top of the doors and metal transom panel above. The concrete walls are dirty, especially between the elevator doors and have chips and gouges along the edges (Illus. No. 4-51).

Original ceilings were of white cement plaster with joints and recessed lighting fixtures. The ceilings were replaced with a smooth finished gypsum board ceiling in 1992 during the installation of a sprinkler system in the building. Original recessed ceiling lights remain.

The original single "UP" and "DOWN" indicator arrows located above each of the elevator doors have been removed and replaced with a single stainless steel panel indicating "UP," "DOWN" and the elevator's current floor location (Illus. No. 4-51).

The elevator doors were originally painted dark gray but have been recently painted light gray with the elevator number stencilled onto each pair of doors (see Chapter V, Paint Analysis).

Skeleton dial clocks were originally specified in each elevator lobby, located on the north elevator bank between elevators #6 and #7 in the south lobby and on the south elevator bank between elevators #10 and #11 in the north lobby (Illus. No. 3-61). The clocks were mounted 12'-0" above the finished floor to the center of the clocks. These clocks are no longer in place and modern ones have been added on the opposite walls in each lobby. Flags currently cover the original clock location in both lobbies (Illus. No. 4-51).

Other changes in both the north and south lobbies include the removal of original stainless steel wall mounted ashtrays, with large floor cans taking their place. Large trash cans for recycling newspapers have also been added and placed in the center of the elevator banks.

In a 3'-0" wide by 1'-8" deep niche in a corner of the southeast lobby stands a bronze bust of the late Catherine Wurster, a pioneer in public housing and other urban programs in America, made by her friend, sculptor-architect Oscar Stonorov (Illus. No. 3-62). The niche was designed to hold the bust, which sits on a base of French Creek granite measuring 19" deep by 24" wide by 35" high. The bust and its base are in excellent condition. Recessed Fixture Type "N" (Illus. No. 3-26) was placed in the ceiling to light this statue. This fixture has been modified to allow the installation of a surface mounted spotlight.

Elevators

Finishes in the original elevator cabs were rosewood plastic laminate walls on three sides with the front wall and doors of stainless steel (Illus. No. 3-18). The front wall had a main car operating panel to the left of the door; an auxiliary car operating panel on the right of the door; and a car position indicator above the doors which spanned the width of both elevator doors. The cabs had a recessed incandescent light fixture and ventilating unit in the ceiling.¹³

As part of a total elevator renovation throughout the building in 1993-1994, the original finishes in the elevator cabs have been replaced with floating oak laminate walls, stainless steel rails, stainless steel egg-crate ceilings and carpeted floors; as well as replacement of the old relay logic controls with modern solid state controls and complete rebuilding of the hoist machinery. The new elevator cab finishes are in excellent condition.

¹³"Elevator Cab Details," Drawing 5-28, April 14, 1965.

Public Toilet Rooms

A pair of men's and women's toilet rooms are located on the east and west sides of the north and south elevator banks (Illus. Nos. 3-62 and 4-56). The rooms have curved exposed concrete aggregate vestibules with bluestone flagging on the floors and marble thresholds which lead into the toilet rooms. The vestibules have their original plaster ceilings and recessed incandescent lights.

The toilet rooms have original dark gray 1" x 1" unglazed ceramic mosaic tile floors with gray portland cement grout, 4-1/4" x 4-1/4" light gray ceramic tile walls set in a vertical ashlar pattern with white grout joints with plaster walls above, steel-enameled toilet partitions and white porcelain fixtures with wall hung sinks. One toilet and one mirror/sink in each toilet room was originally designed for handicapped access. Other original fabric includes stainless steel paper towel dispenser/trash canister, and combination mirror/shelf/soap dispensers.

According to the original color schedule which used Federal Standard Specification 595 colors, the walls were originally painted gray (color #26440), ceilings painted white (color #37886), with white baked enamel toilet partitions; the walls are currently painted pale eggshell blue, ceilings white, and toilet partitions a dark blue (see Chapter V, Paint Analysis).

The first floor toilet rooms are in good condition.

Telephone Lobby Alcoves

A dual bank telephone lobby alcove is located in each of the north and south elevator lobbies, on the north side of the south elevator lobby and on the south side of the north elevator lobby (Illus. No. 4-60). The alcoves originally had plaster ceilings with recessed lights, masonite walls painted gray with 1/8" diameter holes one inch on center with a 6 inch gray vinyl base, and bluestone floors, similar to the elevator lobbies. The original walls remain, however, they are no longer painted gray. Original plaster ceilings have been replaced with acoustical tile. Original recessed light fixtures have been replaced with fluorescent lights. The alcoves contain Formica shelves which were originally "Micarta No. 91-M-18 Oxford Gray;" these have been replaced with a burgundy colored formica shelf. The alcoves are in good condition, although the pegboard walls are in need of painting.

Freight Elevator Lobbies

Freight elevators are located behind double outswinging doors in the northeast and southwest core areas of the building, behind the north passenger elevator bank in the south lobby and the south passenger elevator bank in the north lobby. On the first floor,

however, the only freight elevator lobby is located on the southwest side of the building. It is in good condition.

Cafeteria

The ground floor of the building has a cafeteria dining room located along the west side of the floor between the north and south elevator lobbies (Illus. Nos. 3-64, 4-53 and 4-54). The room has floor to ceiling 3/8" polished plate glass panels set into black anodized aluminum frames which face the Ninth Street courtyard and L'Enfant Plaza. Drapery hardware still exists at the intersection of the ceiling and window walls; original correspondence indicates that Breuer was responsible for cafeteria furnishings and drapes. The exterior wall at both ends of the room and at the three entrances set into the window walls are exposed bushhammered concrete, similar to the lobby core areas of the building. The glass panels are in good condition, although the finish on the anodized aluminum is dirty and showing signs of wear.

In the center of the cafeteria on the west side is an original entrance to the exterior. Splayed exposed concrete walls frame this entrance and support a concrete soffit. The entrance has two 1/4" clear polished glass and anodized aluminum frame doors and frames and a 3/8" polished plate transom above the concrete soffit, set into a concrete surround. The entrance doors have been closed off, except for emergency exiting purposes, and two 6' high by 3' long by 6" thick shiny black divider partition walls have been added to create an alcove for tray/cart storage. Original recessed wall washers Type H-1 (Illus. No. 3-27) are cast into the concrete soffit. An original recessed wall washer Type H (Illus. No. 3-27) lights the face of the plaster wall set just east of this entrance.

Two secondary exits with single 1/4" clear polished glass and anodized aluminum frame doors and frames also opened to the exterior, one located 60'-0" north of the center line (and main entrance) and the other 60'-0" south of the center line. The aluminum frames were set into concrete surrounds. The doors have been closed except for emergency exiting purposes. The anodized finish on the doors is dirty and worn.

The main entrances to the cafeteria dining room from the north and south elevator lobbies are through aluminum double doors, each 3'-6" wide by 8'-0" high, on the northwest and southwest sides of the lobbies. Doors and frames are currently painted silver and large letters reading "Cafeteria" have been added on the lobby side (Illus. No. 4-49). The cafeteria is also entered from openings in the east wall from the two serving areas and a double door leading in from the kitchen.

Stainless steel cash register stations and water stations are located at each end of the room adjacent to the serving areas; these are not original.

The interior walls of the room are plaster. Along the east wall are a series of rounded plaster column covers; three original walls which ran east-west which divided the 55' x 220' eating space of the cafeteria have been removed (Illus. No. 3-20), however, the

squared edge of the walls remain. Original drawings show a 3'-0" ceramic mosaic tile wainscot on the interior walls which is no longer in place. The plaster walls, originally painted white (color #27875), are still painted white and are in good condition.

The cafeteria was originally carpeted with black carpeting which covered the entire floor area of the room (Illus. No. 3-64). The original carpeting has been replaced; the floor is currently carpeted in the dining areas with a dark blue patterned carpet in the dining areas with 12" x 12" white speckle vinyl tile in the corridor portions of the room.

The original ceiling was a rough finished 24" x 24" acoustical tile, 3/4" "Glacier Acoustone" manufactured by the U.S. Gypsum Company, with ceiling diffusers and 84 ceiling mounted light fixtures. The original fixtures consisted of a shallow baked flat white enamel dish, 3'-6" in diameter, recessed into the ceiling, with a pendant mounted bulb shielded by a faceted aluminum reflector in the center of the dish (Type "G" on original drawings, see Illus. No. 3-27). Both the original splined ceiling and light fixtures have been removed, currently the ceiling has a suspended 2' x 4' lay-in acoustical tile with recessed fluorescent lights, sprinklers and the original diffusers. The new light fixtures still act as return air registers for the HVAC system.

Eight pairs of 2'-10" diameter, bushhammered concrete columns run the length of the room, creating a corridor through the eating space. The columns and exterior walls were originally unpainted, however, in 1993 parts of the exterior (window) wall, splayed main entrance vestibule, and concrete columns were painted white and the columns modified with the addition of a series of white-painted circular wooden capitals (Illus Nos. 4-53 and 4-54). The paint on the exterior wall and vestibule was removed about 90 days later although a white tint still remains where the paint was not thoroughly removed. The columns and added capitals remain; both are painted white.

Other alterations made to the cafeteria in 1993 include low walls added along the interior (east) plaster wall to hide alcove lighting; shiny black divider screens set up to hide trash/recycling areas; shiny black wall "Deco" decorations; artificial plants in planters; and "Colonial" street light fixtures mounted on metal posts (Illus. Nos. 4-53 and 4-54). Recently, speakers have been hung on the interior (east) wall at ceiling height every 16 feet.

Original furniture was selected from the Federal Supply Catalogue by Marcel Breuer and Associates (Fig 3-64). Chairs were black vinyl with satin finish aluminum frames and legs. Table tops were #86M34 grey micromesh low glare plastic laminate,¹⁴ set on shiny round aluminum poles mounted on black bases. The original furniture has been replaced with blue and white tables and chairs.

¹⁴Memo re Job Visit, March 8, 1968, by Herbert Beckhard, Marcel Breuer and Associates.

Serving Areas

Two serving areas are located off each of the north and south elevator lobbies on either side of the kitchen on the east side of the first floor between the north and south lobbies. According to original construction correspondence, the floor behind the serving areas was to be quarry tile with the rest of the floor to be "Provincetown Blue" solid color vinyl asbestos tile.¹⁵ Walls and the five round columns in each area were 1" x 1" white ceramic mosaic tile laid in a vertical ashlar pattern with white joints, plaster walls above painted white (color #17875), and 1' x 2' acoustical tile ceilings with recessed downlights, labeled Type "D" on the original drawings (see Illus. No. 3-27). The plaster walls and columns remain with the original 1" x 1" white ceramic mosaic tile. The flooring has been replaced with a 12" x 12" white speckle linoleum tile and acoustical tile ceiling with recessed fluorescent fixtures have installed over the plaster ceilings, probably during installation of the sprinkler system in the building.

Cafeteria Kitchen

The kitchen is centrally located on the eastern portion of the ground floor between the two serving areas. The space has original 6" x 6" fawn gray quarry tile floors with gray joints; 4-1/4" x 4-1/4" white high gloss ceramic tile walls 8 feet high with white portland cement grout joints in a vertical ashlar pattern, bullnose cap, and plaster walls above which were originally painted white (color #17875). Paired rectangular columns run the length of the kitchen creating a corridor. Ceilings are original 1' x 2' metal pan tiles with 1' x 4' fluorescent light fixtures. The kitchen appears to have its original finishes and is in good condition. Minor renovations were made to the toilet rooms, located in the center of the cafeteria kitchen, in 1984 including new toilet accessories and doors.¹⁶

FLOORS 2-10

Upper Floor Elevator Lobbies

The upper level north and south elevator lobbies, with minor exception, remain as originally constructed (Illus. No. 4-55). The lobbies are similar to the first floor north and south elevator lobbies with bush-hammered concrete with formwork marks and horizontal and vertical chamfered concrete pour joints. Horizontal joints are located 5'-0" above the floor. The wall bases are 4 inch high recessed smooth finish concrete. The floors have original 12" x 12" gray random spatter smooth surface vinyl asbestos tile, Color No. 79AV-1 Centurian,

¹⁵Letter to Mr. Gus Bengtson, Chief, Design & Construction Division, GSA, from John A. Glen, Nolen-Swinburne and Associates, July 17, 1967.

¹⁶"Remodel Cafeteria Kitchen," Drawings 5-A-1 and 3-A-1, March 28, 1984.

manufactured by the John Manville Company.¹⁷ The original white sand finished plaster ceilings were removed to allow the installation of the sprinkler system. New gypsum board ceilings have been installed at 9'-9", 9" lower than the original ceiling. A sand finished paint, applied in swirly patterns, has been applied to the gypsum board in an attempt to imitate the original plaster. The original recessed lights have been replaced with new recessed compact fluorescents. The original exposed concrete soffit above the south elevator bank in the south elevator lobbies and the north elevator bank in the north elevator lobbies has been painted but still retains its original recessed light fixtures. Fluorescent light fixtures sit on top of the concrete soffit and light the ceiling. The baked enamel steel elevator doors and frames were originally painted a dark gray; they have recently repainted a light gray (see Chapter V, Paint Analysis). Above each door is mounted the original rectangular stainless steel plate with plastic "UP" and "DOWN" indicator arrows and gong. The original call buttons have been replaced.

Typical original service spaces include a dual bank telephone alcove (described below), mail chute, fire extinguisher cabinet, vending alcove (in the north core area only), janitor's closet, mechanical closet, and two pairs of men's and women's restrooms. The spaces are in good condition. Signs have been added to the walls adjacent to the doors, identifying the rooms and closets.

Large floor to ceiling height color photomurals are mounted at the walls opposite the elevator lobbies on the second through tenth floors which were added in 1972, soon after the completion of the building. The murals originally depicted urban development and housing themes; they have since been replaced with public monuments and patriotic symbols and are in good condition.

Freight Elevator Lobbies

Freight elevator lobbies are located in the northeast and southwest core areas of the building, behind the passenger elevator banks and core stairways. The lobbies have original 12" x 12" gray random spatter smooth surface vinyl asbestos tile flooring, 6 inch gray vinyl bases, similar to the elevator lobbies and corridors and exposed concrete and cinderblock walls.

The original splined acoustical tile ceilings were replaced with lay in acoustical tile ceilings and recessed fluorescent lights during installation of a sprinkler system in the building in 1991-1992. Baked enamel steel elevator doors and frames, originally painted a dark gray, have recently been painted a light gray color as part of an elevator renovation project.

¹⁷Letter to Mr. Charles Blumenthal, John McShain, Inc. from O.B. Printz Floor Company, November 13, 1967 approving use of this tile in all areas of building except cafeteria, staff dining room, serving areas and snack bar.

Public Toilet Rooms

Two sets of toilet rooms are located on either side of the elevator banks in each of the north and south elevator lobbies on the second through tenth floors (Illus. Nos. 4-57 through 4-59). The toilet rooms have gray vinyl asbestos tile floored vestibules with original dark gray 1" x 1" unglazed ceramic mosaic tile floors with gray portland cement grout, 4-1/4" x 4-1/4" light gray ceramic tile walls set in a vertical ashlar pattern with white grout joints with plaster walls, steel-enameled toilet partitions and white porcelain fixtures with wall hung sinks.

The rooms originally had plaster ceilings with one surface mounted fluorescent light fixture in the vestibule and three in the toilet room with two ceiling diffusers in each space. In some of the toilet rooms, the original plaster has been replaced with gypsum drywall during the installation of a sprinkler system in the building and the ceilings currently have surface mounted fluorescent light fixtures (Illus. Nos. 4-58 and 4-59). In other toilet rooms, the original plaster ceilings have been replaced with 2' x 4' acoustical tile lay in ceilings with recessed fluorescent light fixtures (Illus. No. 4-57).

Other original fabric includes stainless steel paper towel dispensers and wall trash cans, shelves, and combination mirror/shelf/soap dispensers. According to the original color schedule which used Federal Standard Specification 595 colors, the walls were originally painted gray (color #26440), ceilings painted white (color #37886) with white baked enamel toilet partitions.

In 1970, the toilet rooms on the east side of the elevators were modified to provide handicapped access. A wall creating an vestibule was removed and replaced with a steel-enameled wall partition (Illus. No. 4-58) and the last stall in each toilet was enlarged for handicapped access by the addition of a new stall door, 2'-8" wide, and new 32" high chrome plated assist bars (Illus. No. 4-57). The new partitions matched the existing in color, finish and hardware.¹⁸ A new handicapped wall hung sink replaced the sink closest to the entrance (Illus. No. 4-57).

The toilet rooms on the west side of the elevator have not been modified for handicapped access and still have the wall separating the vestibule from the toilet room (Illus. No. 4-59). These rooms have been currently designated as smoking restrooms.

Overall, the restrooms are in good condition. In some areas, the gray wall tile has been replaced with tile which does not match the original. Paint colors no longer match the original; walls are currently painted pale eggshell blue with the toilet partitions a dark blue (see Chapter V, Paint Analysis).

¹⁸"Plans - Elevations," Drawing 27-18, April 9, 1970.

Telephone Alcove

Dual bank telephone alcoves are located in each elevator lobby on the second through the tenth floors, on the north side of the south elevator lobbies and on the south side of the north elevator lobbies (Illus. No. 4-60). The alcoves have original gray random spatter vinyl asbestos tile floors, similar to the elevator lobbies and corridors, masonic walls with 1/8 inch diameter holes one inch on center, and 6 inch gray vinyl wall bases. The original concealed splined acoustical tile ceilings have been replaced with exposed grid acoustical tile ceilings. Most of the original fluorescent fixtures set above each telephone remain. The original formica shelves, originally specified to be "Micarta No. 91-M-18 Oxford Gray," have been replaced with formica shelves of varying colors.

The alcoves are in generally good condition, however, some of the telephones have been removed, some of the masonite walls are in need of painting, and some of the acoustical tile is broken, dirty and cracked. Masonite walls, originally painted to match the gray shelves, are currently painted white.

Corridors

Two axially symmetrical office corridors run on the east and west sides of the building between the north and south elevator lobbies on the second through tenth floors, and extend out to the four stair towers at each end from the core areas (Illus. Nos. 4-61 and 4-62). The corridors have original plaster walls, 12" x 12" gray random spatter asphalt tile floors, Color No. 79AV-1, Centurian, manufactured by the John Manville Company, and 6 inch high light gray vinyl base strip.

The acoustical tile ceilings were originally splined 2' x 2' acoustical tile with 8' long PCB fluorescent light fixtures centered and mounted crosswise across the corridor ceilings, with the covers extending below the acoustical tile. The light fixtures also served as return air registers with the ceilings also containing diffusers. The ceilings were replaced with 2' x 4' (except in curved portions of the building where 2' x 2' was used) lay-in acoustical tile and high efficiency fluorescent lights in 1992-1993 when a total building-wide state-of-the-art sprinkler and fire alarm system was installed. The light fixtures serve as return air registers for the HVAC system. The ceilings are currently in good condition.

Corridor plaster walls and steel door frames were originally painted white (color #37886). The building was divided into four quadrants to orient employees and visitors with metal corridor doors and transoms painted four different colors: orange, blue, yellow and black to identify the quadrants.

In 1993, the door frames and transoms were painted the original colors with the doors painted white, opposite of the original scheme (Illus. No. 4-63). The northwest quadrant of the building is orange (Federal Standard No. 595a #12197); northeast is bright yellow (#13655); southeast is black (#17038); and southwest is blue (#15123) (see Chapter V, Paint Analysis).

Overall, the corridors are in good condition. The asphalt tile floors appear to have been well taken care of and remain in generally good condition, however, in small isolated areas throughout the building some tiles have been replaced with dark gray tiles which do not match the originals (Illus. No. 6-30).

Plaster walls and exposed concrete core walls are in good condition, with some soiling noted on the concrete walls, due primarily to the age of the building. Stainless steel wall mounted drinking fountains, set in the concrete in the northeast core area of the building, have areas of staining located beneath the fountains due to a leak in the water line (Illus. No. 6-20).

Large quadrant colored signs indicating corridor numbers have been mounted to the ceilings in both core areas (Illus. No. 4-61). In 1994, speakers for a building-wide public address system were added to the corridors. Located at the corner of the ceiling and wall, they are located every 16 feet throughout the building. In miscellaneous locations throughout the building, electronic handicapped door openers have been added, with glass and satin finish aluminum doors and frames.

Stairwells

There are four end stairwells, one at each wing of the building, and two interior fire stairs located at each of the two cores with steel doors and door frame openings into the stairwells painted white. Other than the addition of security lights and conduit, the doors and stairwells throughout the building retain their original materials. The stairwells are constructed with smooth cast-in-place concrete walls with vertical formwork marks, concrete landings, risers and treads. Lighting is provided by surface mounted fixtures.

The end stairwells have original steel wall handrails and well handrails painted gray (original color #16440) (Illus. No. 4-64). Core stairwells originally had a polished round white oak handrail with stainless steel balusters; the handrail has been varnished with a clear finish (Illus. No. 4-65). All of the stairwells run from the subbasement level to the penthouse and main roof level. The southeast core stair serves as the main access to the roof deck, with the southwest stairwell serving as the secondary fire egress from the roof deck.

The stairwells are in generally good condition, however, the walls are generally dirty and the bottom of the walls have been stained with sealer which has been splashed up from application to the floors.

Other stairways in the building include two garage stairs which lead from east plaza down to the basement level of the building and into the parking garage on the east side of the building (Illus. No. 4-66). A metal grated door and covering has been added at the plaza level to restrict access (Illus. No. 4-13). The concrete walls have vertical formwork marks, with walls stained and dirty. Sealant applied to the floors has been splashed up onto the walls. The stairs have steel balusters with square cherry handrails on the walls

and stairwalls; finish on the cherry is worn and steel balusters are corroding and in need of painting. Security access devices, lights and exposed conduit have been added to the concrete walls.

PRIVATE SPACES

TYPICAL OFFICES

Typical office spaces are located throughout the building in the basement and on the second through tenth floors (Illus. No. 4-67). The spaces originally had concrete slab floors which were covered with 12" x 12" vinyl asbestos tile or 12" x 12" carpet squares, 6 inch gray vinyl cove bases, moveable partitions for walls, and splined 2' x 2' acoustical tile ceilings with 8 foot long ceiling mounted PCB fluorescent light fixtures which were installed to run parallel with the length of the building. Walls were specified to be painted white (see Chapter V, Paint Analysis).

The inside edge of the exterior precast window wall panels are exposed around the windows (Illus. No. 3-65). The space between the window openings are finished with plaster and flush with the inside face of the wall. Located beneath the windows were metal access panels with a grill centered on the paneling covering the integral fan coil units, which were recessed under the windows (Illus. No. 4-74). The fan-coil units in the window wall served the peripheral area, with a conventional duct system serving the rest. The suspended ceiling acted as the return plenum, with return air registers located around the light fixtures. Diffusers for air distribution, 12 inch square, were also located in the ceiling.

Windows on the exterior walls of all four elevations contained 2 inch wide gray Venetian blinds hung from the ceiling running to the bottom of the windows, with 1-1/2 inch wide gray tapes and gray nylon cords (Illus. No. 4-73).

General office space throughout the building remains essentially as constructed, with minor upgrades and modifications. Walls have been moved according to space needs and some have been painted with colors other than white such as mauve or blue. Most floors have been recarpeted, again with 12 inch square carpet squares. As part of the building sprinkler project in 1991-1992, the original splined tile ceilings with fluorescent surface mounted fixtures have been replaced with accessible recessed lay-in ceilings with recessed light fixtures. The new light fixtures still serve as air return registers for air distribution; original 12 inch square diffusers also remain. Windows still have 2 inch wide gray Venetian blinds, however, gray 1-1/2 inch tapes and nylon cords have been replaced with white ones. On several windows, the original blinds have been removed and replaced with 1 inch miniblinds.

TYPICAL CONFERENCE ROOMS (FLOORS 2-10)

Conference Rooms were located on the second, third, fifth, sixth, seventh, ninth and tenth floors throughout the building in the central areas of the building between the north and south elevator lobbies without windows. They were typically constructed with either white metal partitions or ash plywood paneling, ceiling mounted fluorescent light fixtures on splined 2' x 2' acoustical tile ceilings, 12 inch carpet squares over concrete floors. Some of the rooms had white fabric covered manually-operated folding partitions in the center of the rooms.

Today, the rooms still exist but have been converted to general office space. As in the office spaces, the original ceilings have been replaced with an accessible recessed tee fissured lay-in ceiling and recessed fixtures and carpeting has been replaced with new 12 inch squares. Most of the folding partitions still exist.

EXECUTIVE OFFICE SUITES (FLOORS 4-9)

Executive office suites, identical in materials and configuration, are located on the fourth through ninth floors on the southern end of the building behind the south elevator lobbies (Rooms #4100-4200 through #9100-9200) (Illus. No. 3-22). The suites on the fifth through ninth floors were built originally with the suite on the fourth floor added shortly after completion of the building.¹⁹ The suites each contain a large reception area which leads to all the rooms except the large conference room (Illus. No. 4-70), an executive office with private dressing room and bath (Illus. No. 4-71), a small windowless conference room with four rounded corners accessed from both the executive office and from the main office/reception area (Illus. No. 4-76), and three other offices for a deputy and two assistants. A large conference room is located on the west side of the suite, accessed from both the executive office and from the main corridor (Illus. No. 4-72).

The office/reception area, small conference room and three smaller offices originally had similar finishes including American White Ash plywood paneling on all interior walls, 2 inch gray Venetian blinds and drapes on the windows, birch doors which were originally stained to match the ash paneling, carpeted floors, and rough finished splined 12" x 12" acoustical tile ceilings with fluorescent ceiling mounted fixtures (Illus. No. 4-73).

The executive offices all had three windows on the painted plaster exterior (south) walls with 2 inch wide gray Venetian blinds and drapes and 3/4" x 3" vertical tongue and groove American Cherry paneling on the three interior walls (Illus. No. 4-71). Floors were carpeted. Original ceilings were rough finished splined 12" x 12" acoustical tile with ceiling mounted lights consisting of 30-3/8 inch diameter acrylic recessed bowls, with six 30-watt fluorescent lamps mounted above, set 2'-6" on center (Type "FG" on original drawings - see Illus. No. 3-29). Interior doors were of 3/4" x 3" vertical

¹⁹"Plan, Executive Suite (4th Floor)," General Services Administration, Drawing No. 27-8, GSA Drawing No. 321, May 29, 1969.

American Cherry paneling which ran floor to ceiling with no visible hardware. The offices contained built-in adjustable cherry paneled bookcases. Each of the offices had private dressing rooms and closets which had plaster walls and carpeted floors. Leading off the dressing rooms were private baths which had white porcelain sinks, satin finish stainless steel medicine cabinets, and white porcelain toilets. Floors were dark gray 1" x 1" ceramic mosaic tile. Ceilings and walls were plaster, painted white, above a 4'-3" high white 4-1/4" x 4-1/4" ceramic tile wainscot laid in an ashlar pattern.

On the west end of the suites are large conference rooms which have a door leading from the corridor as well as from the executive office (Illus. No. 4-72). The rooms have two windows on the painted plaster exterior (south) walls with 2 inch wide gray Venetian blinds and drapes, with American White Ash plywood paneling on the three interior walls. The interior corners of the room are curved. Two closets are set on either side of the door leading to the corridor. Originally, floors were carpeted and ceilings were 12" x 12" rough finished acoustical tile splined ceilings with ceiling mounted light fixtures, 30-3/8" diameter acrylic dishes with six 30-watt fluorescent lamps mounted above, labeled "Type FG" on the original drawings (Illus. No. 3-29).

Finishes in the spaces today remain as originally constructed with minor changes. The small conference rooms have been converted to office space (Illus. No. 4-76). Original ceilings have replaced with 12" x 12" rough finished splined acoustical tiles which match the original in size and finish in all but the large conference rooms, where lay-in 2' x 4' acoustical tile ceilings with recessed fluorescent fixtures and sprinklers have been installed. Both cherry and ash paneling has been varnished with a glossy finish; some of the original finishes can still be seen on the insides of closets and backs of doors. On the fifth floor, a new toilet and sink have been installed in the private bath. In the seventh floor suite (#7100-7200) and large conference room on the eighth floor (#8200), the ash paneling has been stained a dark color; it is not known when this was done. Carpeting and drapes have been modernized throughout. Solar film has recently been installed on the windows. The suites have been well maintained and are in excellent condition.

SECOND FLOOR

The second floor originally contained general services and personnel offices for the Office of the Secretary and Federal Housing Administration (FHA) (Illus. No. 3-33). The interior core space originally contained the staff dining room and pantry, a mail room and seven training rooms with projection rooms with screen and folding partitions.

The floor has been converted to general office space. The staff dining room, originally located in Room 2135, no longer exists and the space has been converted to office space (Illus. No. 4-68). Original pilasters remain around the columns. The pantry located to the north of the dining room, originally had two elevators (#19 and #20) and a stairway (#12) leading down to the cafeteria. The elevators have been removed. The stairway remains with original finishes including cast in place concrete walls, stairs and risers and original gray paint on the handrail. An original cover on a fluorescent light fixture is

broken. Hardware has broken on the steel door at the top of the stairs, which keeps the door from closing properly. The door and frames are painted white, which appears to be the original paint coat.

The training rooms have been converted to office space, although projection rooms and one operable folding partition remain.

THIRD FLOOR

The third floor was originally occupied by accounting, insurance and fiscal offices for the Federal Housing Administration with two conference rooms, a mail room, credit union and supply room for use by the Office of the Secretary, all located in the central core area between the north and south building cores (Illus. No. 3-34).

The two conference rooms were located south of the north elevator lobby and had movable partitions to divide the rooms in two. These rooms have been converted to office space.

The snack bar was located north of the south elevator lobby, spanning the central area and accessed by both the east and west corridors. On the west side of the room was a blind stand; along the north wall were a row of vending machines. The room had vinyl asbestos floor tile, plaster walls and splined acoustical tile ceiling; the flooring has been replaced with tan colored vinyl flooring and a new lay in acoustical tile ceiling with recessed lights and sprinklers has been installed.

The credit union was located next to the snack bar on the west corridor, it remains in its original location.

FOURTH FLOOR

The fourth floor was occupied originally by the Federal Housing Administration (Illus. No. 3-35), with a large "Data Processing Area" including a large computer room, a computer record room, tape library, projection room, key punch room, training room and interview room for the Office of the Secretary.²⁰ The original floor was 12" x 12" gray vinyl asbestos tile, used throughout the building. The area has been renovated several times since the building was constructed: it was slightly enlarged and renovated in 1985²¹ including new raised floors with new flooring and new acoustical tile ceilings, and again in 1987 when the area was again enlarged slightly.²²

²⁰"Data Processing Area (Fourth Floor) - Plans and Details," Drawing 5-42, April 1, 1965.

²¹"4th Floor Computer," Drawings 3-1 and 3-2, January 30, 1985.

²²"Addition to 4th Floor Computer Room," Drawing 3-1, October 15, 1987.

An Executive Office Suite was added at the south end of the building, behind the south elevator lobby (#4100-4200) in 1969, shortly after the completion of the building. The suite matched the other suites in the building, located on the fifth through ninth floors, in materials and configuration (see Executive Office Suites above).

FIFTH FLOOR

The fifth floor was originally occupied by the Federal Housing Administration and the Federal National Mortgage Association, with a conference room, reproduction room and mail room for use by the Office of the Secretary (Illus. No. 3-36). The conference room has been converted to office space, the reproduction room no longer exists, and the mail room remains in place. The Office of the Secretary's conference room was located in the central area on the east side, just south of the north freight elevator lobby and had a moveable folding partition; the room has been converted to office space. The Executive Office Suite, located on the south end behind the south elevator lobby (#5100-5200), was occupied by the Office of the President of the Federal National Mortgage Association.

The fifth floor functions as office space, as originally designed. Original drawings for the floor showed a corridor in the center of the building which connected the east and west corridors. The corridor is no longer there; it is not known if it was ever constructed.

SIXTH FLOOR

The sixth floor was originally occupied by the Federal Housing Administration, with a conference room and mail room in the central area for use by the Office of the Secretary (Illus. No. 3-37). The conference room has been converted to office space; the mail room still exists. The executive office suite (#6100-6200) was occupied by the Commissioner's Office (see Executive Office Suites above).

The sixth floor functions as office space, as originally designed. Original drawings for the floor showed a corridor in the center of the building which connected the east and west corridors. The corridor is no longer there; it is not known if it was ever constructed.

SEVENTH FLOOR

The seventh floor was occupied by the Office of Metropolitan Development, with offices for the Urban Renewal Administration on the east of the floor, and for the Land Facilities and Development Administration on the west side (Illus. No. 3-38). Also on the floor were two conference rooms and mail room in the central area for use by the Office of the Secretary. The conference rooms were located in the northeast and southwest central areas, adjacent to the freight elevator lobbies, and had American White Ash paneling on the walls and acoustical tile ceilings. Both conference rooms have been converted to

office space; the room located in #7233 still has the ash paneling with its original finish. The mail room still exists.

The executive office suite (#7100-7200), located at the south end of the building behind the south elevator lobby, was originally occupied by the Office of the Assistant Secretary (see Executive Office Suites above); the ash plywood paneling has been stained a dark color throughout.

The Health Unit remains in its original location in Room 7239 with a reception area opening to two hallways running north/south and a series of small examining rooms and offices (Illus. No. 4-69). The unit had 12" x 12" gray asphalt vinyl tile flooring with 4" gray cove bases, plaster walls and ceilings painted white (#37886) and painted wood doors set into painted steel frame. In the main lobby and hallways, ceilings were lowered and acoustical tile installed in 1991-1992 to make room for a sprinkler system. At that time, new light fixtures were installed in the new lay-in acoustical tile ceiling. The examining rooms and offices remain as originally constructed with smooth plaster ceilings with original ceiling hung fluorescent fixtures with eggcrate covers; sprinklers were added to the walls in these space. The walls in the Health Unit were originally painted white (color #37886) and are still painted an off-white color. The current layout identical to that shown on the original drawings.²³ An oak chairrail has recently been added to the reception area.

The seventh floor functions as office space, as originally designed. Original drawings for the floor showed a corridor in the center of the building which connected the east and west corridors. The corridor is no longer there; it is not known if it was ever constructed.

EIGHTH FLOOR

The eighth floor was originally occupied by the Demonstrations and Intergovernmental Relations branch and the Renewal and Housing Assistance branch, with a conference room, mail room and the HUD Library for use by the Office of the Secretary (Illus. No. 3-39). The conference room was located in the northeast corner of the central area, between the north freight elevator lobby and the library; it has been converted to office space. The mail room, located in the southeast central area, remains.

The executive office suite (#8100-8200) was occupied by the Office of the Assistant Secretary of Demonstrations and Intergovernmental Relations (see Executive Office Suites above).

The eighth floor functions as office space and the HUD Library, as originally designed.

²³"Health Unit (Seventh Floor)," Drawing 5-43, April 1, 1965.

Library

The Library (Room 8141) originally occupied the entire center and west side of the building between the north and south elevator lobbies (Illus. No. 3-39). It originally had a dark solid color gray or black carpeting laid over 12" x 12" gray random spatter vinyl asbestos tile used elsewhere in the building with a 4 inch gray cove vinyl base and plaster walls (Illus. No. 3-65). Ceilings were rough finished splined acoustical tile with fluorescent PCB light fixtures mounted which hung below the ceiling tiles and 12" x 12" diffuser panels, similar to those in the offices and corridors. Windows on the exterior west wall had 2 inch wide gray Venetian blinds with 1-1/2 inch wide gray tapes and gray nylon cords, similar to those used elsewhere throughout the building. The room contained desks, study carrels, wooden bookshelves and card catalogs. Walls were originally painted white (#37886).

The Library has been reduced in size to less than one-half its original size and its plan has been somewhat modified.²⁴ Its original carpet has been replaced with a gold colored carpeting, which covers most of the original 12" x 12" gray vinyl asbestos tile (Illus. No. 4-77). New lay-in acoustical tile ceilings were installed during 1991-1992 when a sprinkler system was installed throughout the building. The new ceilings have 1' x 2' tiles, recessed fluorescent fixtures, sprinklers and the original 12" x 12" diffusers. Original venetian blinds, vinyl cove base, wooden card catalogs and bookshelves remain. The walls were repainted in 1994; they remain white (see Chapter V, Paint Analysis).

NINTH FLOOR

The ninth floor was originally occupied by the Renewal and Housing Assistance branch, with a conference room, mail and supply rooms for use by the Office of the Secretary (Illus. No. 3-40). The two conference rooms were located in the northeast and southwest central areas, behind the freight elevator lobbies and had moveable white folding partitions to divide the rooms in half. The conference room in the northeast area is still used as a conference room, although a wall partition has been added at the location of the original folding moveable partition. The conference room in the southwest area has been converted to office space.

The executive office suite (#9100-9200), located at the south end of the building behind the south elevator lobby, was occupied by the Office of the Assistant Secretary of the Renewal and Housing Assistance Branch (see Executive Office Suites above).

The ninth floor functions as office space, as originally designed. Original drawings for the floor showed a corridor in the center of the building which connected the east and west corridors. The corridor is no longer there; it is not known if it was ever constructed.

²⁴"Library (Eighth Floor)," Drawing 5-44, April 1, 1965.

TENTH FLOOR

The tenth floor was originally and is still occupied by the Office of the Secretary (Illus. No. 3-41) with the Departmental Conference Room located in the southwest central area adjacent to the south elevator lobby.

Original drawings for the floor showed a corridor in the center of the building which connected the east and west corridors. The corridor is no longer there; it is not known if it was ever constructed.

Executive offices are located on the southern end of the building behind the south elevator lobby. Two glass partitions set in metal frames with guard's stations have been installed on the southwest and southwest corridor entrances at either end of the south elevator lobby (Illus. No. 4-84).

Departmental Conference Room and Foyer (Room 10233)

The HUD Departmental or "Agency" Conference Room (Room 10233) is located in the central core of the southwest corner of the building on the tenth floor, just outside the Secretary's Suite and north of southwest freight elevator lobby. The main door, constructed of 3/4" x 3" vertical tongue and groove cherry paneling, opens from the main corridor into the foyer, a 9'-6" wide by 22' long room, paneled in 3/4" x 3" vertical tongue and groove cherry paneling (Illus. No. 4-79). At the end of the room was a coat closet area. Changes to the space include new carpeting, enclosure of the coat closet for use as a mechanical area, new acoustical tile ceilings which were installed during the installation of the sprinkler system in 1991-1992, and varnishing of the original cherry paneled doors and walls.

On the north side of the foyer are two double doors, constructed of 3/4" x 3" vertical tongue and groove cherry paneling, which open to the south end of the conference room (Illus. No. 4-81). The conference room, paneled with 3/4" x 3" vertical tongue and groove paneling, is 19'-6" x 27'-3" and has four 5'-2" radius rounded corners. The front (north end) of the room originally had a rear project screen which has been replaced with a front project video system and new screen (Illus. No. 4-80). The wall is covered with curtains with a projection room located behind the space and accessed by doors on either side of the screen/podium area. Along the east side of the room is a series of fabric covered panels which were originally cork display tackboards; two of the panels are doors which open to reveal an original blackboard (Illus. No. 4-82). The room contains five closets along the west side which are paneled in American White Ash plywood paneling (Illus. No. 4-83).

The conference room maintains its basic original appearance but has had some modifications. The cherry paneling, which originally had an oiled matte finish (which can still be seen on the inside of the closet doors), has been heavily lacquered with glossy varnish, which makes the defects in the milling of the wood more obvious. Original

carpeting (color unknown) has been replaced with navy blue patterned carpet (Illus. Nos. 4-80 and 4-81). The original cork tackboards have been covered with blue fabric (Illus. No. 4-82). The original splined acoustical tile ceiling has been replaced with a new 2' x 4' acoustical tile ceiling with recessed lights (Illus. No. 4-80 and 4-81). Two original skeleton dial clocks, one in the southwest and one in the northeast corners have been removed; emergency lights, four wall mounted speakers and a new clock have been attached to the walls (Illus. No. 4-82).

The room is in good condition, although the double doors between the foyer and conference room have been gouged along the edges and the hardware along the top of the doors has failed, so that the doors will not shut properly (Illus. No. 6-25).

Secretary's Suite

The Secretary's Suite is located at west of the center of the south end of the building (Room 10000), and contains a reception area, secretarial area, Secretary's office with private bath and dressing room, dining room, kitchen, and conference room.

Original double doors, floor to ceiling in height of 3/4" x 3" vertical tongue and groove American Cherry paneling, lead into the reception area from the main corridor (Illus. No. 4-85). Both doors have brass door openers. The left door has original brass letters which read "Secretary" and "10000." The door on the right has an original push panel with a lock. The door is in excellent condition.

The reception area is adjacent to the south face of the south service core and has bush hammered concrete on the north wall. The niche in the center of this wall that contains the vending areas on the lower floors is paneled with vertical groove cherry boarding. A partition with 1/4" polished plate glass with cherry trim dividers and vertical cherry boarding runs parallel with the curving concrete wall, separating the reception area from the secretarial office on the south wall (Illus. No. 4-86). Doors are of 3/4" x 3" vertical tongue and groove American Cherry paneling. Four concrete columns in the reception space are also sheathed in cherry paneling. The floor was originally carpeted; the carpeting has been replaced. The area originally had rough finished 12" x 12" splined acoustical tile ceilings; during installation of the sprinkler system, the ceilings were replaced with tile similar in size and finish to the original. Original light fixtures, 30-3/8 inch diameter acrylic dishes recessed into the ceiling with six 30-watt fluorescent lamps mounted above, still remain and are in good condition. Two original skeleton dial clocks, mounted 8'-0" on the curving north wall have been removed. The original reception area has been divided into separate offices with the addition of drywall partitions and cherry paneling. The reception area leads into the secretarial area through a cherry paneled door with brass letters reading "The Secretary" and brass hardware (Illus. No. 4-88).

The secretarial area leads to the Secretary's office on the east and a dining room on the west (Illus. No. 4-89). The room has 1/4" polished plate glass with cherry trim dividers on the north wall and 3/4" x 3" vertical tongue and groove cherry paneling on the east and west

walls. The cherry was originally oiled but has been varnished. The south exterior wall of the office is similar to all other exterior walls with two original windows set in black anodized aluminum frames and 2 inch wide gray Venetian blinds. The windows have metal HVAC access panels below and painted plaster between the windows. Drapes cover the entire outer wall area; although the current drapes are not original to the building, it is believed that drapes were installed in the executive office areas, if not originally, soon after the building's occupancy. Floors were originally carpeted; new carpeting has been installed. Ceilings were originally rough finished 12" x 12" acoustical tile ceilings with original recessed circular light fixtures, 30-3/8" diameter acrylic dishes with six 30-watt fluorescent lamps mounted above. Although the ceilings were replaced during the installation of a building sprinkler system in 1991-1992, they were replaced with tile that matches the original in size and material and original light fixtures remain.

To the west of the secretarial area is the dining room and kitchen (Illus. Nos. 4-90 and 4-91). Finishes in the dining room are similar to the secretarial area with 3/4" x 3" vertical tongue and groove American Cherry paneling on the interior walls and windows set into black anodized aluminum frames, metal access panels beneath, 2" gray Venetian blinds and drapes on the exterior walls. The Venetian blinds are believed to be original; drapes have been replaced. Floors were originally carpeted; carpeting has been replaced. Ceilings were originally rough finished 12" x 12" acoustical tile ceilings with original recessed circular light fixtures, 30" diameter baked flat enamel dishes with faceted aluminum reflector pendants in the center (Type "G-1"). The original fixtures have been replaced with 30" acrylic dishes with six 30-watt fluorescent lamps mounted above which match the other rooms in the Secretary's Suite. Although the ceilings were replaced during the installation of a building sprinkler system in 1991-1992, they were replaced with tile that matches the original in size and material. On the north wall of the dining room is a wood swinging door leading to the kitchen. The kitchen originally had cherry base cabinets, a commercial stove, sink and refrigerator, with vinyl asbestos tile floors and plaster walls and ceiling. Gold colored formica upper cabinets have been added to the room which do not match the original cherry base cabinets.

On the west wall of the dining room and off of the main corridor are cherry paneled doors opening into the conference room (Illus. No. 4-90). The room has original 3/4" x 3" vertical tongue and groove American Cherry paneling on the north, east and west walls, with curved corners with a 4'-9-1/2" radius on the two interior walls and two closets on either side of the door opening to the corridor. The exterior (south) wall has two windows set in painted plaster walls with 2" wide gray Venetian blinds and floor to ceiling drapes. The blinds may be original; the drapes have been replaced. The floor was originally carpeted; carpeting has been replaced. The ceiling has original recessed circular light fixtures with 30-3/8" diameter acrylic dishes with six 30-watt fluorescent lamps mounted above, set in 12" x 12" rough finished acoustical tile splined ceilings. The tile was replaced during installation of the sprinkler system in the building in 1991-1992 with new tile which replicated the original in size and finish.

The Secretary's office is located east of the secretarial area, opening into the room with a single 3/8" x 3" tongue and groove vertical American Cherry paneled door with brass hardware (Illus. No. 4-92). The room has 3/8" x 3" American Cherry paneling on the north, east and west walls; the paneling originally had an oil finish but has since been varnished. The south wall contains three windows set in painted plaster walls with 2 inch gray Venetian blinds and floor to ceiling drapes. The blinds are possibly original; the drapes have been replaced. On the east wall are two adjustable built-in cherry bookcases and a door opening to the private dressing room and bath. The north wall originally had double cherry paneled doors in the center of the room which led to the reception area; due to the creation of offices in the space, the double doors were removed and a single cherry paneled door was located at each end of the north wall (Illus. No. 4-93). The room has rough finished 12" x 12" acoustical tile ceilings with original circular recessed light fixtures with 30-3/8" diameter acrylic dishes with six 30-watt fluorescent lamps mounted above; the tile was replaced during installation of a sprinkler system in the building in 1991-1992 to match the original. The floor was originally carpeted; carpeting has been replaced.

The office has a private dressing room with a closet leading to a bathroom with white porcelain toilet, wall hung white porcelain sink and shower. The bath has 1" x 1" dark gray unglazed ceramic mosaic tile floors with 4-1/4" x 4-1/4" white high gloss ceramic wall tiles in a vertical ashlar pattern, with plaster walls and ceilings painted white (#27886) above the tile.

Materials and finishes in the Secretary's suite are in excellent condition.

Deputy Secretary's Suite

The Deputy Secretary's Suite is located just east of the south center of the building on the tenth floor (Room 10100) and is similar in finishes and configuration to the Secretary's Suite. Opening with double cherry paneled doors off the main corridor, the area contains a reception area, secretarial area, Secretary's office with private bath, and conference room.

The reception area described in the Secretary's Suite above also serves this suite of spaces (Illus. No. 4-87). It has bush hammered concrete on the north wall (the south elevator lobby core area) and 1/4" polished plate glass set in cherry trim dividers on the south wall, separating the reception area from the secretarial area. Four concrete columns in the reception space are sheathed in 3/8" x 3" vertical tongue and groove American Cherry paneling. The floor is carpeted; carpeting has been replaced. The ceiling originally had 12" x 12" rough finished acoustical tile ceilings with recessed circular light fixtures, a 30-3/8" diameter acrylic dish with six 30-watt fluorescent lamps mounted above; original light fixtures remain although the tile was replaced with tile matching the original in size and finish during the installation of the building sprinkler system in 1991-1992. Two original skeleton dial clocks have been removed. The reception area has been divided with cherry paneling and drywall partitions and doors into general office space.

The secretarial area leads to the Deputy Secretary's office on the west and a conference room on the east. The room has 1/4" polished plate glass with cherry trim dividers on the north wall and 3/4" x 3" vertical tongue and groove cherry paneling on the east and west walls. The cherry was originally oiled but has been varnished. The south exterior wall of the office is similar to all other exterior walls with two windows set in black anodized aluminum frames with original 2" wide gray Venetian blinds, non-original drapes, metal HVAC access panels below and painted plaster between the windows. Floors were originally carpeted; new carpeting has been installed. Ceilings were originally rough finished 12" x 12" acoustical tile ceilings with original recessed circular light fixtures, 30-3/8" diameter acrylic dishes with six 30-watt fluorescent lamps mounted above. Although the ceilings were replaced during the installation of a building sprinkler system in 1991-1992, they were replaced with tile that matches the original in size and material and original light fixtures remain.

On the west side of the secretarial area is a 3/4" x 3" vertical tongue and groove cherry paneled door which opens into the Deputy Secretary's office (Illus. No. 4-94). The room originally had another cherry paneled door on the north side which opened to the reception area; this was been closed off during the creation of additional office space in the reception area. The room has 3/4" x 3" vertical tongue and groove cherry paneling on the three interior walls; the paneling originally had an oil finish which has since been varnished. The room has two adjustable cherry built-in bookcases on the west wall. The south wall is painted plaster with two windows set in black anodized aluminum frames with 2 inch gray Venetian blinds and drapes. The blinds may be original; drapes have been replaced. Floors were originally carpeted; carpeting has been replaced. The ceiling was originally rough finished 12" x 12" acoustical tile ceilings with circular recessed light fixtures; the tile was replaced to match the original during the installation of the building sprinkler system in 1991-1992. On the north wall is a cherry paneled door leading to a small dressing room, closet and bathroom with original fixtures including a white porcelain toilet, wall hung white porcelain sink and shower. The bath has original 1" x 1" dark gray unglazed ceramic mosaic tile floors with 4-1/4" x 4-1/4" white high gloss ceramic wall tiles in a vertical ashlar pattern, with plaster walls and ceilings painted white (#27886) above the tile. Materials and finishes in the Deputy Secretary's suite are in excellent condition.

On the east side of the secretarial area and off the main office corridor are cherry paneled doors opening into the Deputy Secretary's conference room (Illus. No. 4-95). The room has original 3/4" x 3" tongue and groove vertical American Cherry paneling on the north, east and west walls; the original oiled finish has been varnished. The interior corners are curved with 4'-9-1/2" radius and a closet set on either side of the door opening to the corridor. The exterior (south) wall has two windows with black anodized aluminum frames set in painted plaster walls, with metal HVAC panels below. Windows have 2" gray Venetian blinds and floor to ceiling drapes; blinds may be original but drapes have been replaced. Floors were originally carpeted; carpeting has been replaced. The ceiling was originally rough finished 12" x 12" acoustical tile ceilings with circular recessed light fixtures; the tile was replaced to match the original during installation of the sprinkler system in the building in 1991-1992.

Other Executive Office Suites

Three executive office suites were located on the southeast and southwest wings of the tenth floor (Illus. No. 3-41). The spaces were originally for use by the Office of General Counsel, located on the east side of the southwest end wing; the Deputy Under Secretary, located on the east side of the southeast wing in Room 10120; and the Assistant Secretary for Administration, located on the west side of the southeast wing. Room configurations, materials and finishes were identical to the Executive Office Suites located on the fourth through ninth floors, except that these suites did not have the large conference room and two of the suites were mirror images of the Executive Office Suites on the lower floors.

The suites each contain a large reception area which opens to an executive office with private dressing room and bath, a small windowless conference room with rounded corners which is also connected to the executive office by a door, and three smaller offices.

The reception area, small conference room and three smaller offices originally had similar finishes including American White Ash plywood paneling on all interior walls, 2 inch gray Venetian blinds and drapes on the windows, birch doors and transoms which were originally stained to match the ash paneling set in steel frames painted white, carpeted floors, and rough finished splined 12" x 12" acoustical tile ceilings with fluorescent ceiling mounted fixtures. Changes include the addition of lay-in recessed acoustical tile ceilings with recessed fixtures during installation of the building sprinkler system in 1991-1992, new drapes and carpeting, and varnishing of the original matte finish ash paneling (Illus. No. 4-75 and 4-76).

The executive offices all had three windows on the painted plaster exterior (south) walls with 2 inch wide gray Venetian blinds and drapes (Illus. No. 4-73) and 3/4" x 3" vertical tongue and groove American Cherry paneling on the three interior walls. Floors were carpeted. Original ceilings were rough finished splined 12" x 12" acoustical tile with ceiling mounted lights consisting of 30-3/8 inch diameter acrylic recessed bowls, with six 30-watt fluorescent lamps mounted above, set 2'-6" on center. Interior doors were of 3/4" x 3" vertical American Cherry paneling which ran floor to ceiling with no visible hardware. The offices contained built-in adjustable cherry paneled bookcases. Each of the offices had private dressing rooms and closets which had plaster walls and carpeted floors. Leading off the dressing rooms were private baths which had white porcelain sinks, satin finish stainless steel medicine cabinets, and white porcelain toilets. Floors were dark gray 1" x 1" ceramic mosaic tile. Ceilings and walls were plaster, painted white, above a 4'-3" high white 4-1/4" x 4-1/4" ceramic tile wainscot laid in an ashlar pattern. Changes to the spaces include new drapes and carpeting, and new rough finished acoustical tile added during the installation of the sprinkler system which replicates the original in size and finish.

Finishes in the spaces today remain as originally constructed with minor changes. The small conference rooms have been converted to office space (Illus. No. 4-76). Except for the executive offices, the original ceilings have been replaced with modern 2' x 4' lay-in

acoustical tile ceilings with recessed light fixtures. Both cherry and ash paneling has been varnished with a glossy finish; some of the original finishes can still be seen on the insides of closets and backs of doors. The ash paneling in the reception area in Room 10120 has been darkened; an area of old water damage was also noted on the southeast end wall (Illus. No. 6-28). Solar film has been installed on windows in the two suites located on the south elevation.

PENTHOUSE

The penthouse is two levels and contains mechanical equipment for the building and provides access to the roof. The penthouse has two levels at the elevator machine rooms with the rest of the space one story with a high overhead clearance for pipes and duct space. The walls, floors and ceilings are constructed of exposed concrete with vertical tongue and groove formwork marks. Walls, floors and ceilings are in good condition. The penthouse is accessed by the four core stairwells as well as the north and south freight elevator lobbies. In 1993, a handicapped lift was installed to provide access from the penthouse to the roof observation deck.

SUBBASEMENT

The subbasement was accessed from two stairways from the parking garage on the east side, the four core stairways, and by the four stairways at the ends of the building wings. It contains warehouse space, mechanical equipment rooms, mailroom, pumphouse, substation, elevator pits, with one level of the parking garage beneath the east plaza. The subbasement has original concrete floors, unfinished form finished concrete walls which have been painted, exposed pipes in the ceiling. A pile of window washing hooks and several original concrete stanchions are stored on pallets in the space.

BASEMENT

The basement is similar to the second through tenth floors in materials and configuration, with elevator lobbies located at the north and south cores connected by corridors on the east side. Two stairways on the east corridor open to the parking garage beneath the east plaza. On the west side is a corridor on the north half of the building, which ends in the loading dock area on the south half.

The north and south elevator lobbies each contain eight elevator banks with original bushhammered concrete walls with formwork marks, horizontal and vertical chamfered concrete pour joints, and smooth recessed concrete bases. The concrete walls are dirty and soiled, with glue stains adjacent to the elevator doors. The recessed bases are soiled from the application of vinyl floor cleaner and wax which has been splashed up onto the wall base. The floors are original 12" x 12" gray random spatter smooth surface vinyl asbestos tile, Color No. 79AV-1, Centurian, manufactured by the John Manville Company.

They have been well maintained over the years and are in excellent condition. The ceilings were originally 2' x 2' splined acoustical tile with ceiling mounted PCB fluorescent light fixtures; during the installation of the sprinkler system in 1991-1992, the ceilings and light fixtures were replaced with lay-in 2' x 4' and 2' x 2' acoustical tile with recessed high efficient fixtures. A new clock has been installed.

The lobbies each contain a pair of men's and women's toilet rooms, which have been modified for handicapped access by the removal of the vestibule wall and the addition of a handicapped sink and wider stall at the far end of the room. Elevator doors and frames were originally painted dark gray; during the recent elevator modernization they were painted a light gray and the elevator number stencilled on the doors. Above each door are mounted original double stainless steel "UP" arrows. Photomurals have been placed at the east side of the north lobby and west side of the south lobby.

In the northeast quadrant corridor where training rooms have been added, carpeting covers the original vinyl tile floors and an oak chairrail has been added along the corridor walls with wallpaper above. The other corridors have original gray vinyl tile floors, although in some areas the floors have been patched with vinyl tile which is slightly darker in color than the original. All corridors have new acoustical tile ceilings with recessed lights, which were added in 1992-1993 as part of a total building-wide sprinkler and fire alarm system upgrade.

Original plans show the basement containing the HUD mail center, records storage rooms, office supply rooms, graphics and photo laboratory, studios, locker rooms, trash room, machinery rooms, printing, carpenter shop, painting, plumbing, electrical and elevator maintenance shops, cafeteria and kitchen storage and locker rooms, and an underground loading dock accessed from a service drive on the south (E Street) elevation. Many of these rooms still remain, however, training rooms have been added to the northeast quadrant, a child care center and travel agency in the northwest quadrant, and a fitness center in the southeast quadrant.

The child care center (B-278), was installed in 1977. The rooms have linoleum floors, wallpaper and acoustical tile ceilings with recessed fluorescent lights.

The physical fitness center, added to the building in 1988, has a main exercise room with wood strip flooring and mirrors, an adjacent staff office, and men's and women's shower rooms with ceramic tile floors and walls.²⁵

The mail room is located in the basement in its original location and contains the selective vertical (mail) conveyor (Illus. No. 4-102). The conveyor was part of the original design of the building and was installed by the Lamson Corporation. The conveyor serves the sub-basement, basement, and the second through the tenth floors with a total of 11 receiving and sending stations, traveling 143'-3". There is no station at the first floor. The system was designed to handle the model "A" tote boxes with exterior dimensions of 12" wide x 10"

²⁵"Physical Fitness Center, Basement, Southeast Area," Drawings 3-A-2 and 3-A-3, 1988.

deep x 16" long and a capacity of 40 pounds. At each landing, there is a receiving station, a sending station and a floor selector switch. A conveyor is attached to each receiving station, with the conveyor at the main station much longer than the typical conveyors at the other floors. There are two openings at each of the eleven floors (dispatching and receiving stations) served by the conveyor.

The hoistway, machine room and pit are constructed of concrete; the concrete hoistway walls are 12 inches thick. The drive machine and motor are located in a separate penthouse machine room above the tenth floor. The machine room is secured by a locked door. The take-up device is located in a pit below the sub-basement floor.

GARAGE STAIRWAYS

Pedestrian access to the garage is from two stairways (#F1 and #F2) adjacent to the northeast and southeast entrances on the plaza which run from the plaza level down to the three parking levels below. The stairways were originally open, however, for security reasons, metal gate doors and panels which close off the stairways from the plaza were installed. They are currently locked.

The stairways have an original square cherry railing with a natural finish with a steel railing system, concrete stairs and rough concrete walls. The finish on the wooden railing is worn and soiled; the painted steel railing system appears to have the original paint, but is dirty and corroding in spots. The walls are generally soiled and stained a dark color where they have been splashed with sealer which has been placed on the floors. The original metal doors have been modernized with security hardware and security card readers. Electrical conduit and "No Smoking" signs have been added.

PARKING GARAGE

A three level (345 space) parking garage, located beneath the Seventh Street (East) Plaza, is accessed by automobiles by two ramps (one up facing south and one down facing north) in the plaza. The ramps originally had heating units in the paving, however, they have since been removed. In 1990, new electric steel roll-up entrance and exit ramp doors were installed.

Due to nearly on-going water leakage problems in the Seventh Street (east) plaza above, the garage has suffered water damage over the years.



Illustration No. 4-1

Subject: Housing and Urban Development Building, Seventh Street (East) Elevation

Date: November 1994

Description: View of plaza looking south (taken from northeast wing). Compare with original historic photo - Illus. No. 3-45. Driveway pick-up area and parking garage ramps have been paved with concrete. Bluestone paving has been replaced. Varying sized concrete landscaping planters have been placed along length of plaza inside the light standards. Original light fixtures mounted on concrete standards have been replaced with clear glass globes. A fabric sign has been temporarily mounted on the front of the banner.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-2

Subject: Housing and Urban Development Building, Seventh Street (East) Elevation

Date: November 1994

Description: View looking southwest across Seventh Street with granite faced end wall to the right (compare with Illus. No. 3-59). Note new flagpole and planted area added in 1971 on north end of plaza. Other changes include the addition of concrete landscaping planters; spotlights mounted between the pilotis; and new clear glass globes replacing original light fixtures on the concrete standards.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-3

Subject: Housing and Urban Development Building, Seventh Street (East) Elevation

Date: November 1994

Description: View looking south from beneath pilotis (see Illus. No. 3-48 for original view). Note stains on inside of pilotis and soiling on inside of precast concrete window units. Changes to the plaza include the addition of concrete landscaping planters which run the length of the plaza, spotlights mounted on the tree beams between the pilotis, and new clear glass globes replacing original light fixtures on the concrete standards. Signs have been added to the original light standards with metal bands which are rusting and staining the standards.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-4

Subject: Housing and Urban Development Building, Seventh Street (East) Elevation

Date: November 1994

Description: View looking north across plaza (see Illus. No. 3-47 for original view). Changes to the plaza include the removal of concrete stanchions and addition of plants set in concrete landscaping planters, removal of original light fixtures and replacement with clear glass globes set on original concrete standards, new spotlights mounted on the tree beams on the building, a concrete paved driveway area with a granite curb instead of the original bluestone which covered the entire plaza, and two new 80' flagpoles at the north and south ends.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

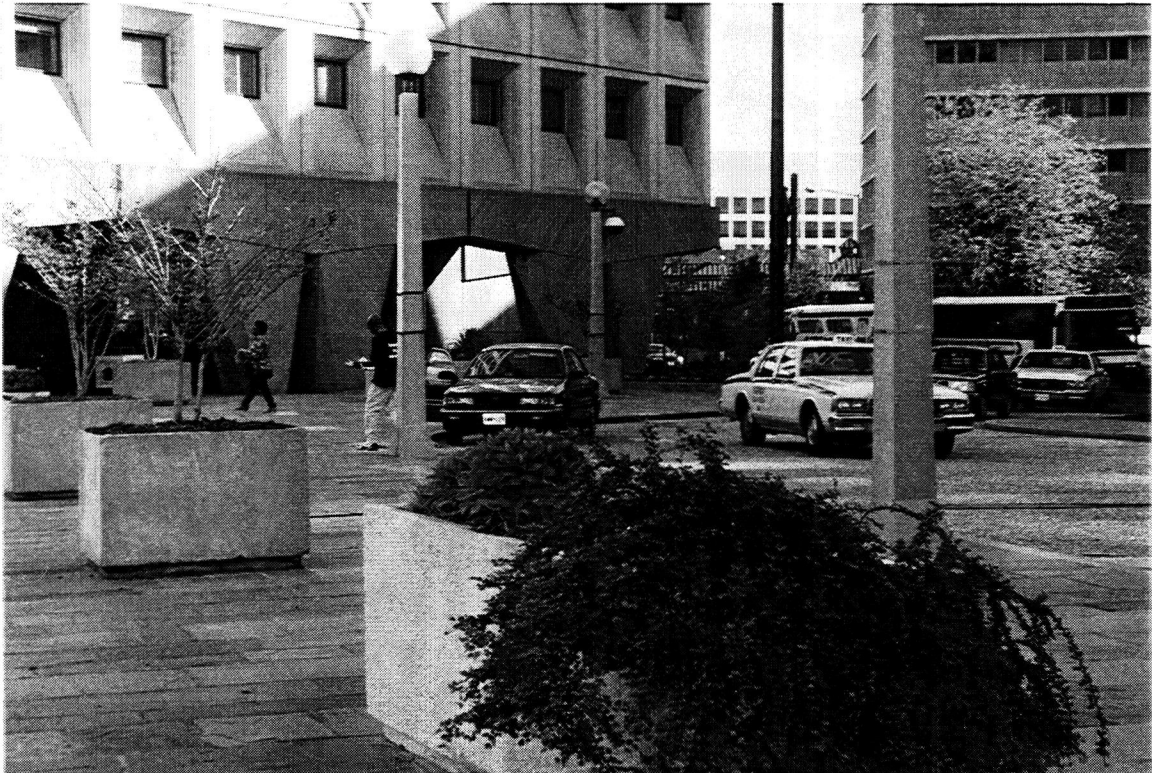


Illustration No. 4-5

Subject: Housing and Urban Development Building, Seventh Street (East) Elevation

Date: April 1994

Description: View looking north showing non-original concrete landscaping planter boxes which have small trees, shrubs and flowers. Other changes to the plaza seen here include the recessed paved driveway area with granite curb replacing the bluestone paving, new clear glass globe light fixtures set on the original concrete lamp posts, new spotlights mounted to the beams above the pilotis, new bluestone paving, and a flagpole at the north end of plaza.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-6

Subject: Housing and Urban Development Building, Seventh Street (East) Elevation

Date: April 1994

Description: View looking northwest across plaza. Changes to the plaza shown here include the paved driveway area with curb, concrete sidewalks along the street have been widened (the two inner sections were originally paved with bluestone, see Illus. No. 3-45), aluminum pipe railings, mechanical arm and signs, concrete landscape planters, and clear glass globes set on original concrete standards. Spotlights have also been added to the center of the elevation on the beams above the pilotis.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects

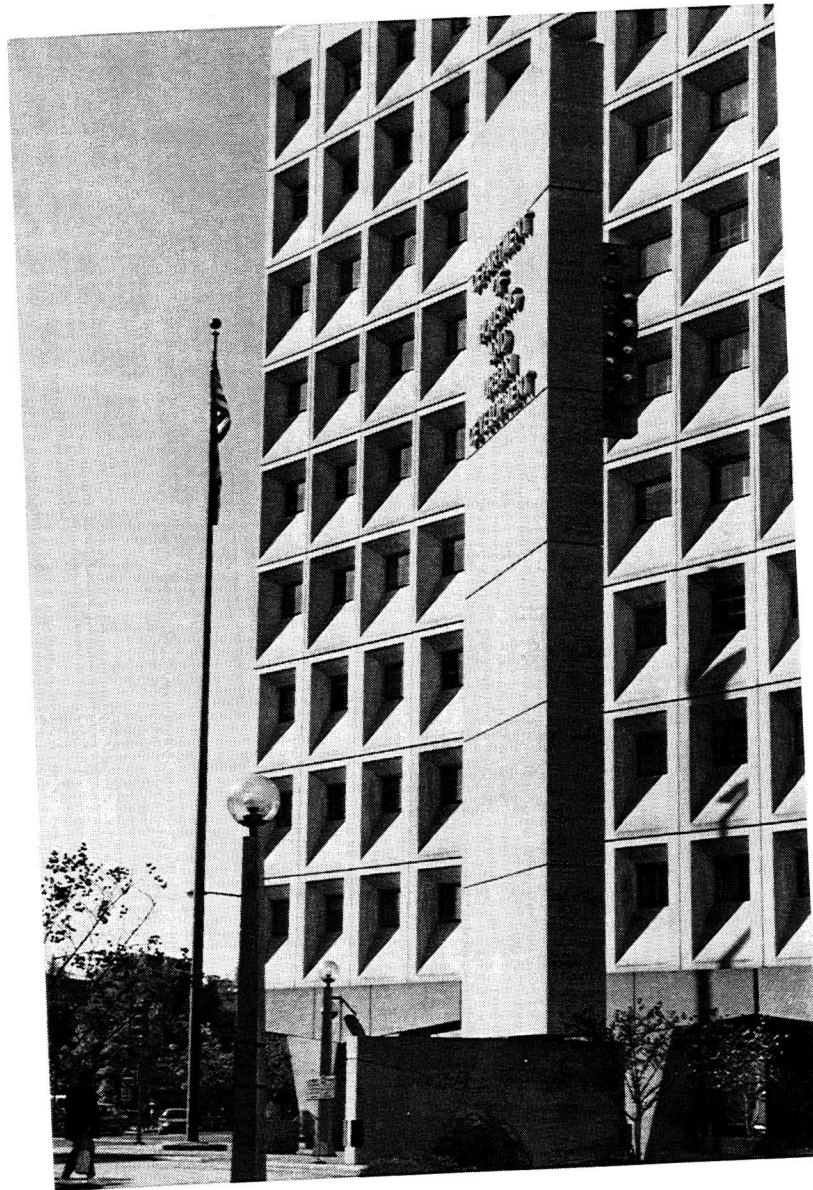


Illustration No. 4-7

Subject: Housing and Urban Development Building, Seventh Street (East) Elevation

Date: April 1994

Description: View looking towards south end of plaza, showing "banner" with 18 gauge stainless steel letters on the front. Note original brass finished steel guard plates on the front and back of the base. Note also the 80' black anodized aluminum flagpole (original flagpole was in this location and of the same material but was 40' tall) and two original concrete light posts, with non-original light globes. The standards have had signs attached with metal bands which are rusting and staining the standards.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-8

Subject: Housing and Urban Development Building, Seventh Street (East) Elevation, Banner

Date: November 1994

Description: Front view of banner, a 76 foot tall reinforced concrete sculpture, which marks the main entrance to the building (compare with original photo, Illus. No. 3-49). The letters are 18 inches tall, constructed of 18 gauge satin finish stainless steel. The banner is in good condition with some soiling noted. A temporary fabric banner has been mounted to its front.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

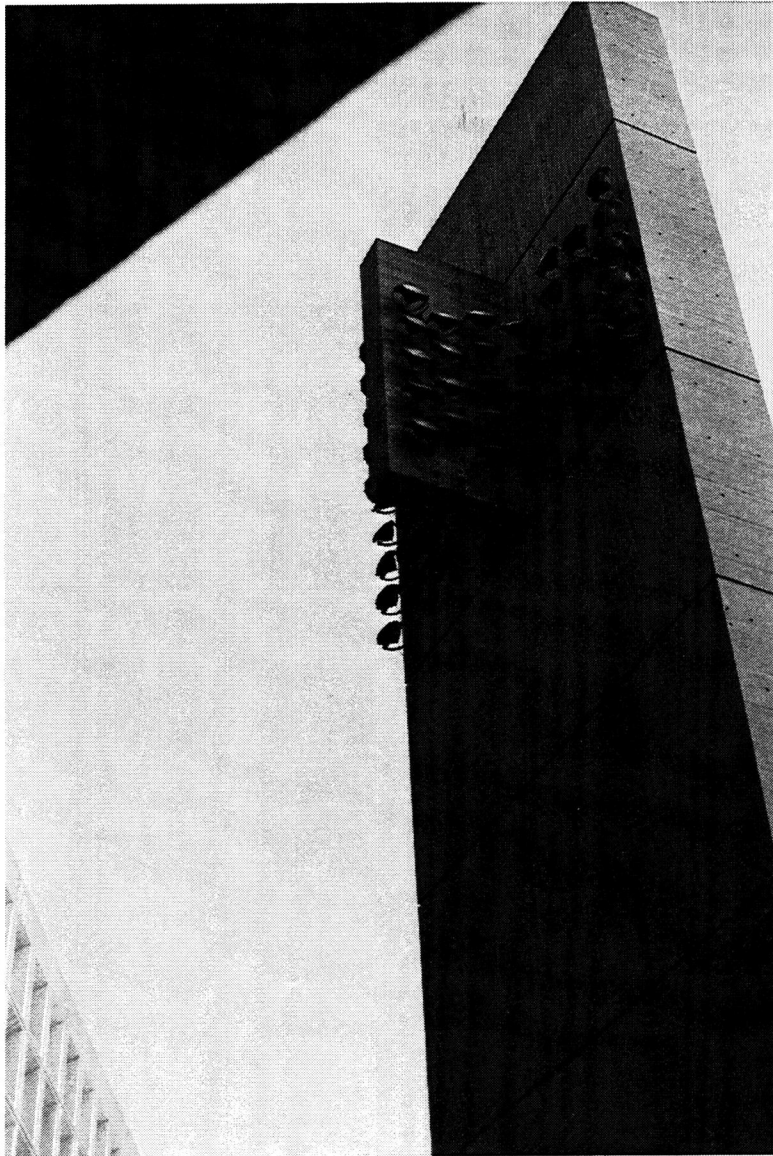


Illustration No. 4-9

Subject: Housing and Urban Development Building, Seventh Street (East) Elevation, Banner

Date: November 1994

Description: Backside of top portion of banner showing 64 original 1000-watt lights mounted on back of banner used to illuminate the building and its main entrance at night (compare with original photo, Illus. No. 3-50). The lights are in good condition.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-10

Subject: Housing and Urban Development Building, Seventh Street (East) Elevation

Date: November 1994

Description: View looking west with garage entrance walls in foreground (see Illus. No. 3-46 for original view). Note soiling on window units above glass and contrast of white replacement tape used on window Venetian blinds. Original blinds were 2" wide baked on gray flexible steel Venetian blinds with 1-1/2" wide gray tapes and gray nylon cords. Note also non-original spotlight mounted on center of beam between pilotis, new glass globes and signs on original concrete standards, and concrete landscaping planting boxes.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

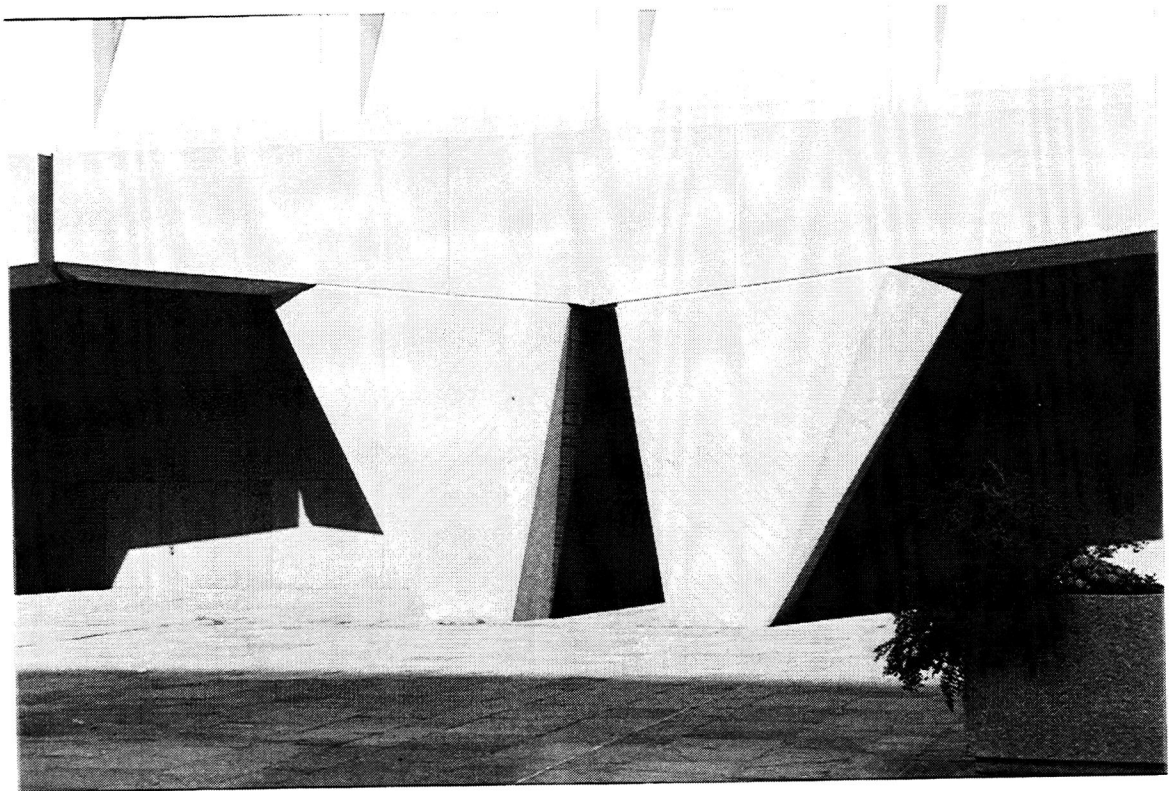


Illustration No. 4-11

Subject: Housing and Urban Development Building, Seventh Street (East) Elevation

Date: April 1994

Description: Detail of concrete tree column with granite facing on first floor underneath colonnade. The fronts of the pilotis, washed by rain, are clean and in good condition.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-12

Subject: Housing and Urban Development Building, Seventh Street (East) Elevation

Date: November 1994

Description: Detail of northeast entrance showing new gutters and downspouts which have been added to both the northeast and southeast entrances. Note also rust and water stains on the concrete pilotis, new landscaping planting boxes, and new bluestone paving. The original paving did not have any "reds or purples," which have been used in repaving the plaza.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-13

Subject: Housing and Urban Development Building, Seventh Street (East) Elevation

Date: November 1994

Description: Detail of area adjacent to southeast (main) entrance showing new bicycle rack, wrought iron fence, grate enclosure and door leading down stairs to the garage and basement level. The stairway (#F2) was originally left open.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-14

Subject: Housing and Urban Development Building, Seventh Street (East) Elevation

Date: November 1994

Description: View looking north towards northeast entrance under building colonnade formed by granite panels on first floor wall and pilotis (see Illus. No. 3-51 for original view). Arcade is paved with bluestone and has white cement plaster ceilings with lights and access panels. Fence at northeast entrance in front of bicycle racks has been added.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

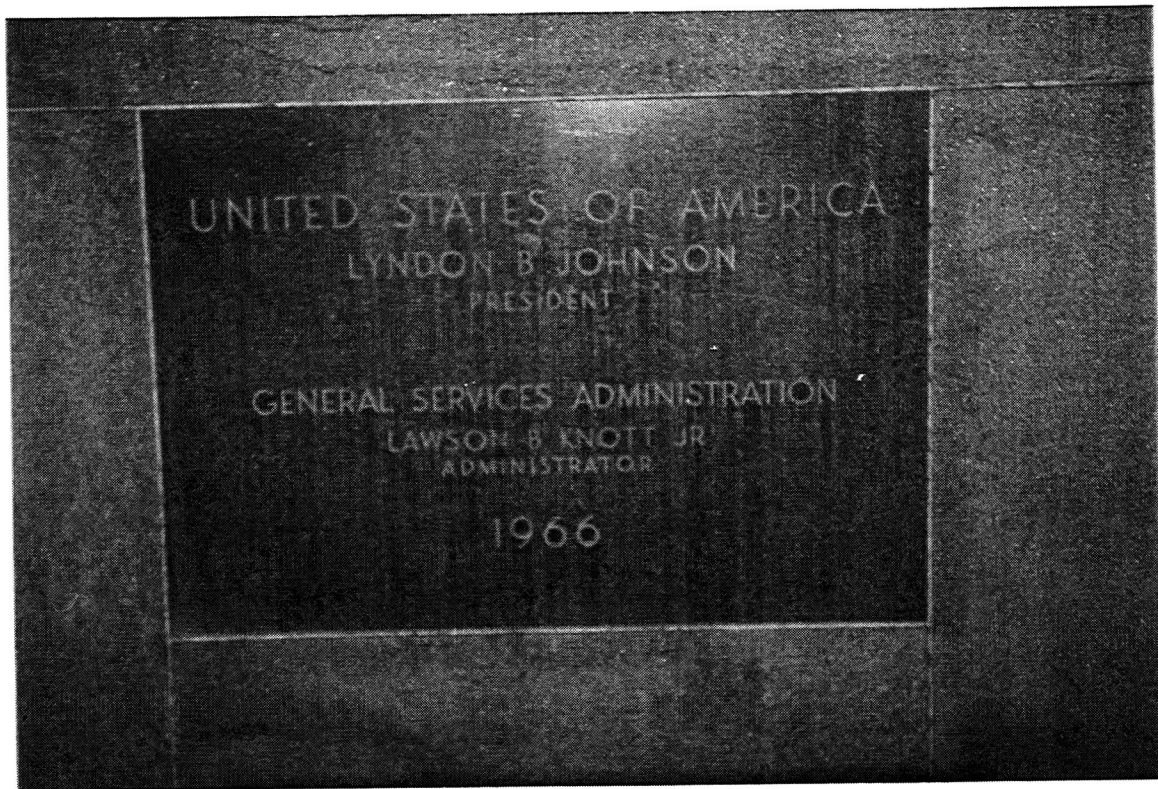


Illustration No. 4-15

Subject: Housing and Urban Development Building, Seventh Street (East) Elevation

Date: December 1994

Description: Original cornerstone laid November 10, 1966, located in center of the first floor east elevation beneath arcade. Constructed of polished French Creek "Cherry Hill" granite, the cornerstone reads "United States of America, Lyndon B. Johnson, President / General Services Administration, Lawson B. Knott, Jr., Administrator / 1966."

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

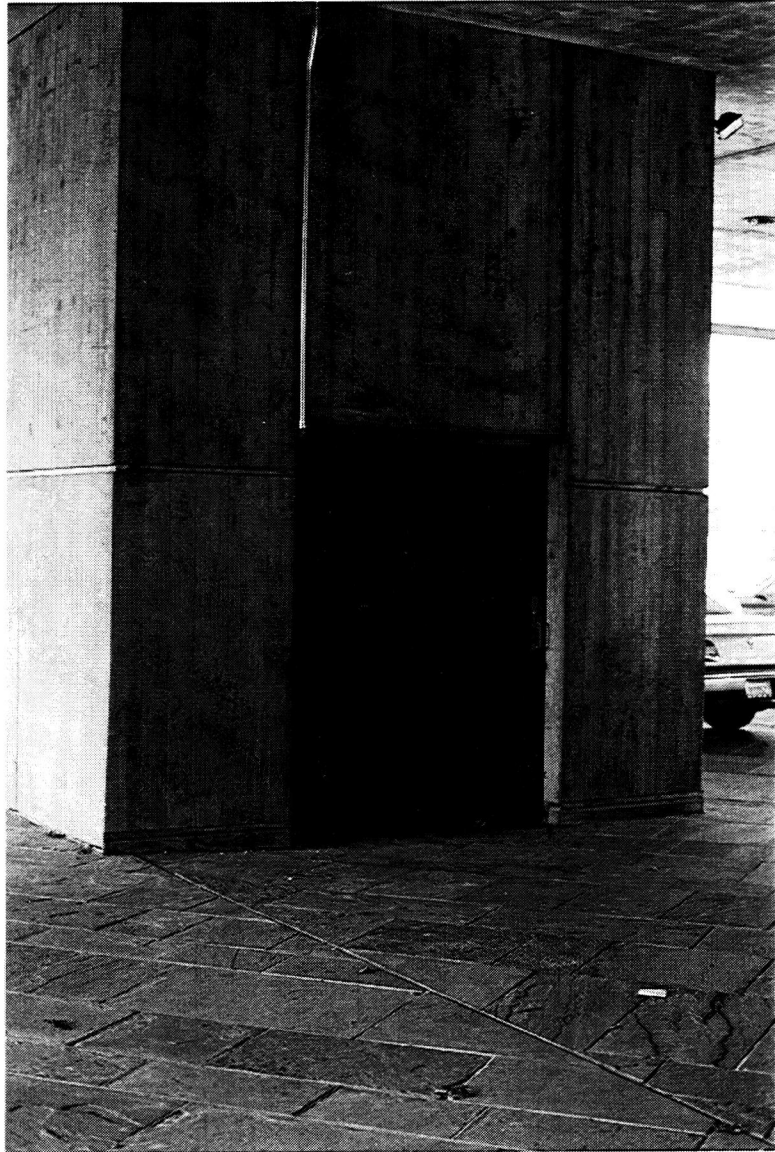


Illustration No. 4-16

Subject: Housing and Urban Development Building, Southeast Wing

Date: November 1994

Description: Entrance to fire stair on southeast wing. Stairs have been closed off with grates and grated door with lock. Conduit has been added above left side of opening and spotlight has been mounted on building near ceiling.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

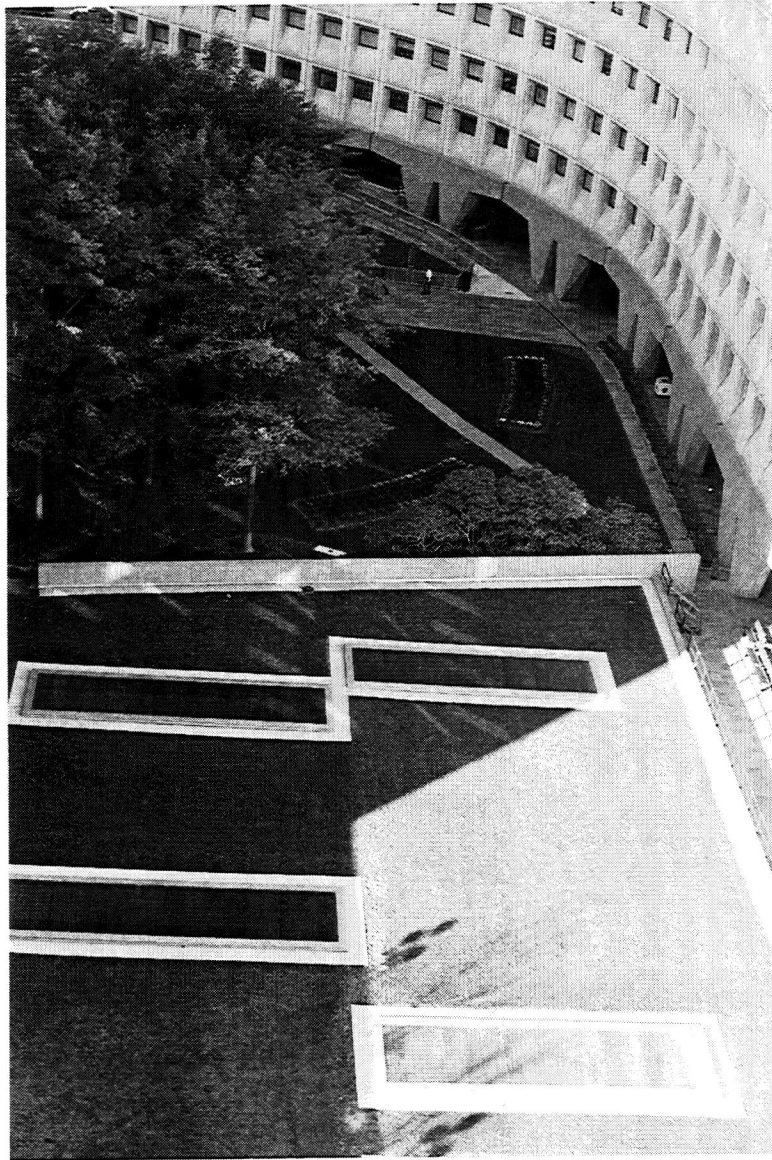


Illustration No. 4-17

Subject: Housing and Urban Development Building, West Elevation

Date: November 1994

Description: View of west courtyard area from upper floor of southwest wing, looking north. The elevation is divided by a retaining wall which is the north wall of the underground loading dock service area. In the foreground is a raised grassy area with vents which provide light and air to the underground service area. The north half of the area is a courtyard with willow oaks, tulip magnolias and flowering beds. Changes to the original design scheme include a walkway bisecting the north area, benches along the pilotis, tulip magnolias and flowering plants, and a playground surrounded by a concrete handicapped ramp connecting the building with L'Enfant Plaza.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-18

Subject: Housing and Urban Development Building, West Elevation

Date: December 1994

Description: North end of west courtyard area, which has been converted to a playground for the day care center. A concrete handicapped ramp to L'Enfant Plaza has just been added. The metal fence and railings, which have been painted silver, located on the inside of the ramp continues around the playground area with a gate near the northwest entrance, serving also to enclose the playground area. Two sided modern black lamps are mounted on poles on both the inside and outside of the ramp.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-19

Subject: Housing and Urban Development Building, West Elevation

Date: April 1994

Description: Landscaped area, looking south, which is similar to the original design intent, with grass covering the part closest to the building and willow oak trees staggered along the rear of the site next to the L'Enfant Plaza Building. Four of the trees had to be removed when the walkway to L'Enfant Plaza was added; three more were removed when the playground was installed. Small tulip magnolia trees along the retaining wall as well as additional shrubs and flowering plants have been added throughout as well as a sidewalk which bisects the area. The area is in excellent condition.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-20

Subject: Housing and Urban Development Building, West Elevation

Date: April 1994

Description: View looking south, showing edge of landscaped area and row of twenty one wooden benches, set on concrete blocks, which have been added to the site. The benches are in need of painting.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-21

Subject: Housing and Urban Development Building, West Elevation

Date: April 1994

Description: Southern half of elevation looking west showing concrete retaining wall with metal railings and raised grass area above with seven large rectangular metal vents which open to the underground service area below. This area is as originally constructed although railings were originally painted off-white in color. They are currently in need of painting.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects

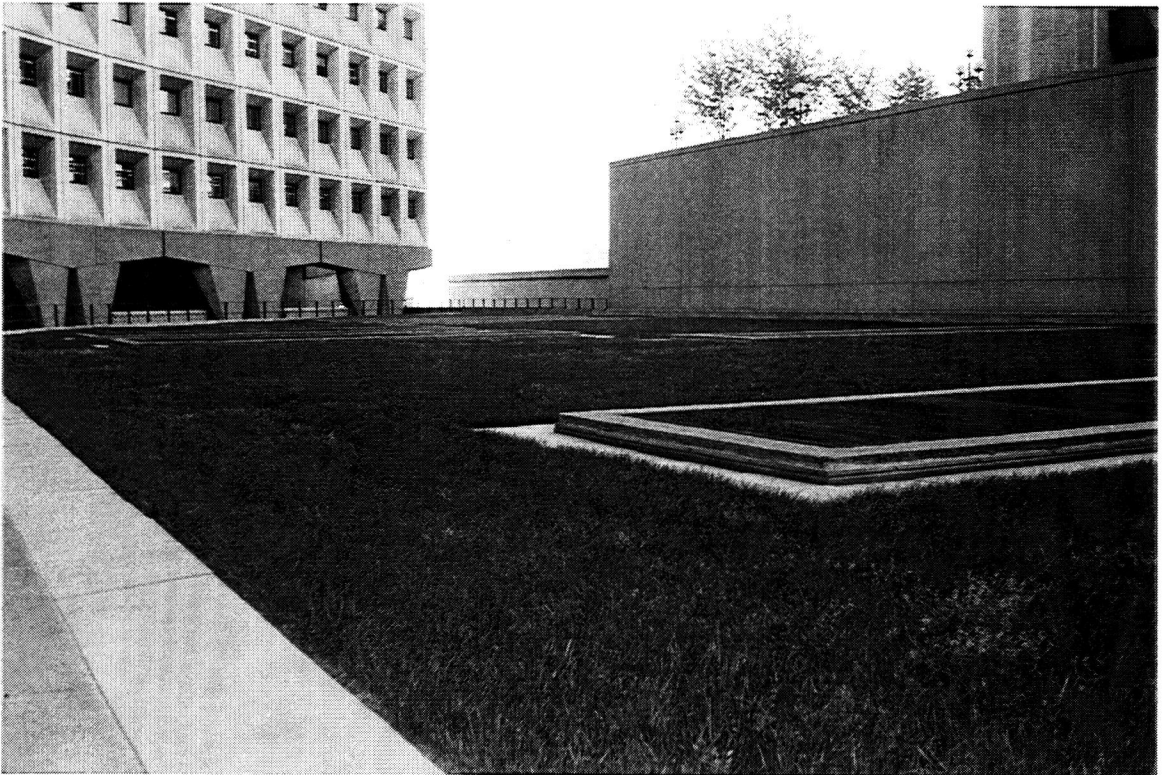


Illustration No. 4-22

Subject: Housing and Urban Development Building, West Elevation

Date: April 1994

Description: View of southern half of elevation looking southwest showing raised grass area with seven metal vents to the underground service area. This area remains as originally constructed.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects

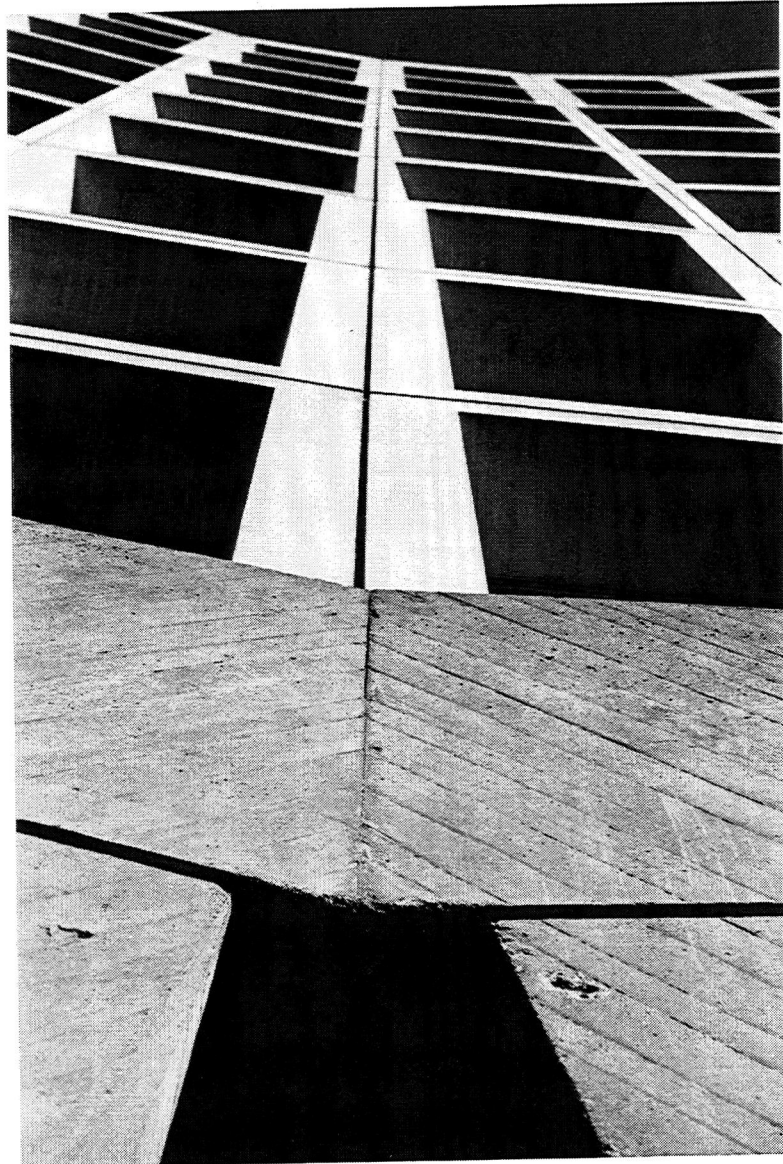


Illustration No. 4-23

Subject: Housing and Urban Development Building, West Elevation

Date: November 1994

Description: Facade detail looking up from top of pilotis on north end (see Illus. No. 3-52 for original photo). Note rust stains on face and underneath beams where pieces of metal in original formwork are rusting through. A small amount of honeycombing can be seen at the crotch of the pilotis.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

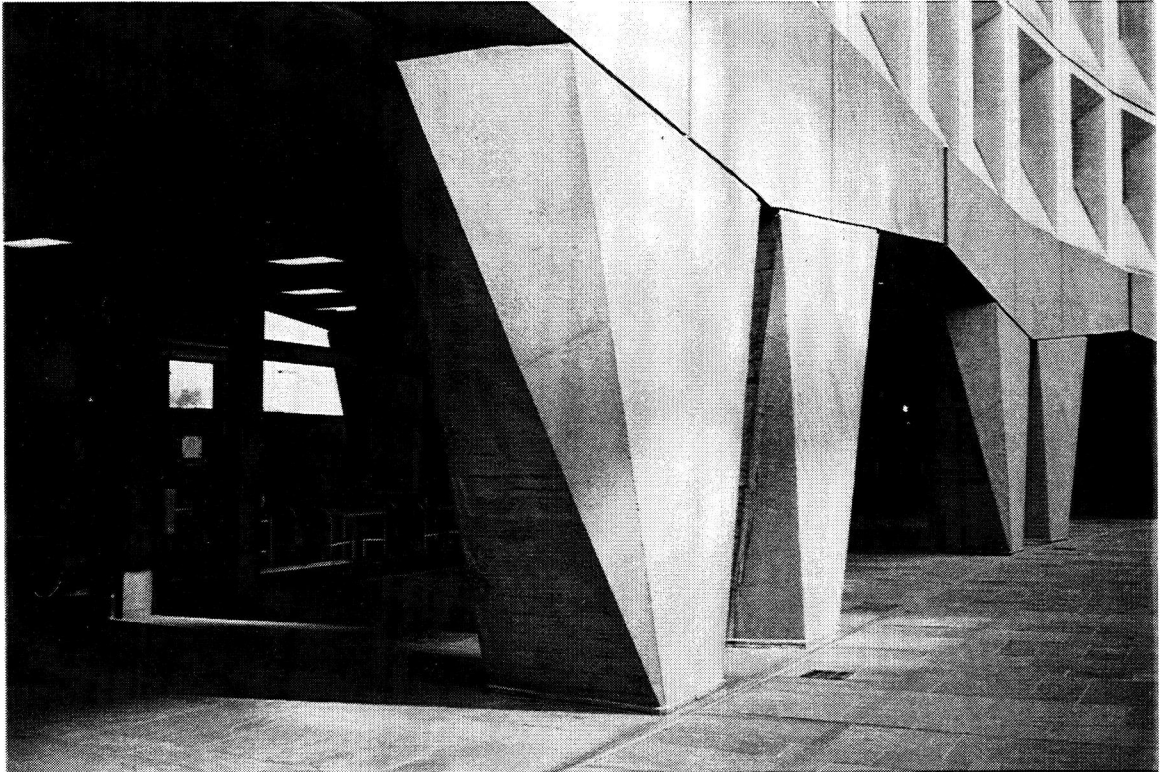


Illustration No. 4-24

Subject: Housing and Urban Development Building, West Elevation

Date: April 1994

Description: Detail of concrete pilotis looking under colonnade into cafeteria. Sides and backs of columns are dirtier than fronts, which are washed by rainwater. Note also the original single door entrance into the cafeteria, consisting of a black anodized finish aluminum and 1/4" clear flat polished glass doors with push bar panels with black anodized finish aluminum frames, set into a bushhammered concrete surround and transom. This entrance has been closed off.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-25

Subject: Housing and Urban Development Building, West Elevation

Date: November 1994

Description: View looking south under colonnade with cafeteria on left and pilotis on right (compare with historic photo, Illus. No. 3-58). The three exterior entrances to the cafeteria can be seen, as well as the southwest entrance at the far end. All exterior doors are original, 1/4" clear flat polished glass set into black anodized finish aluminum frames with push bar panels with black anodized finish frames. The doors are in good condition but have been closed off. White cement plaster ceilings of the colonnade are soiled and stained, as are the insides of the concrete pilotis.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

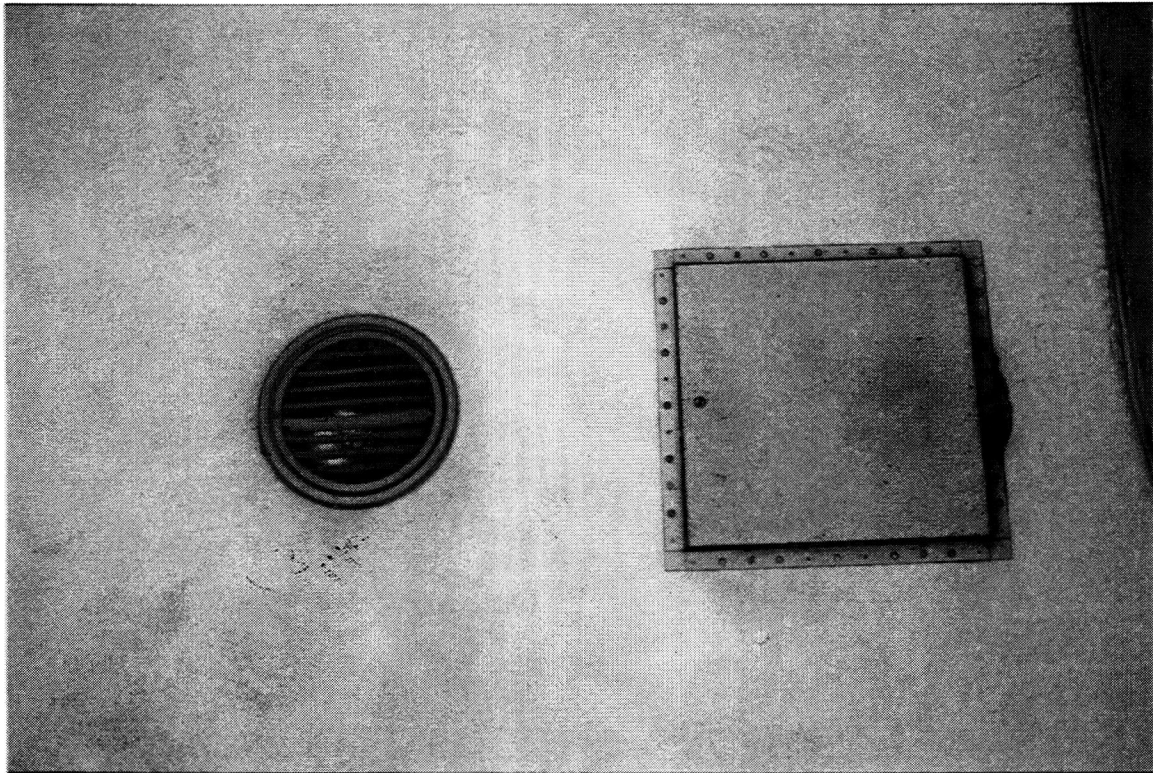


Illustration No. 4-26

Subject: Housing and Urban Development Building, West Elevation

Date: November 1994

Description: Detail of white cement plaster ceiling of first floor colonnade showing original light and access panel. Access panels are typically corroding; ceilings have stains and are soiled.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

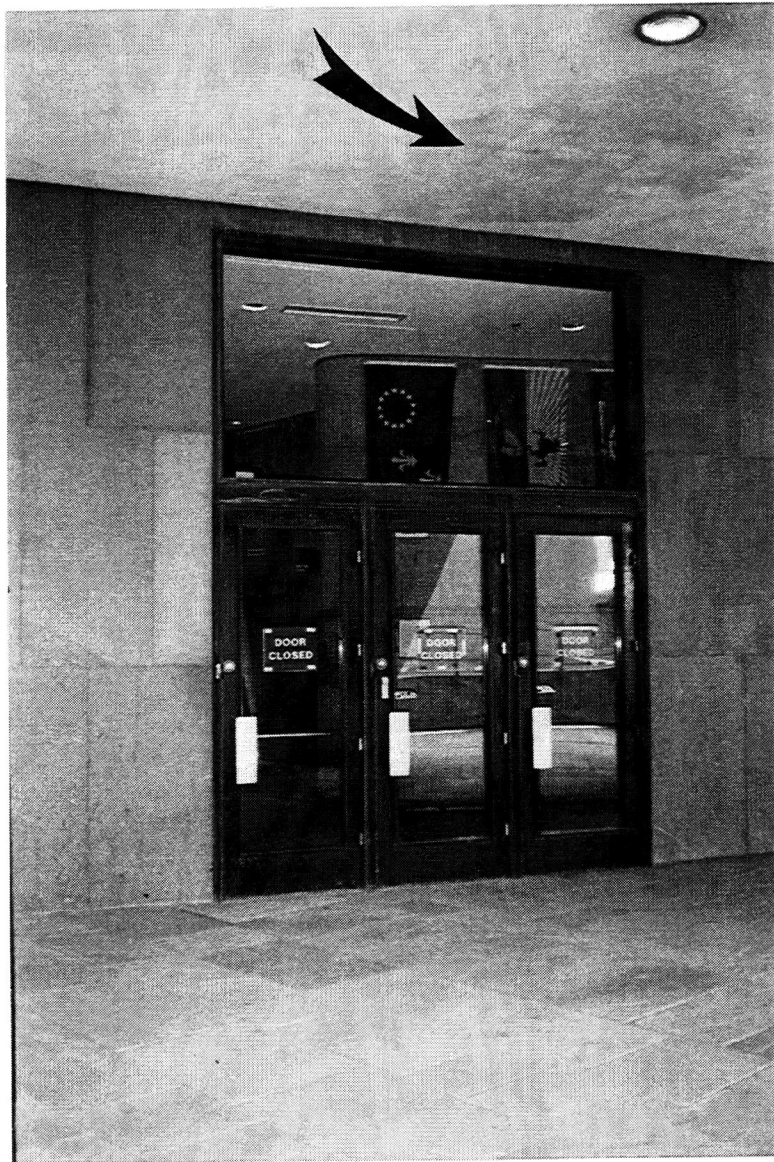


Illustration No. 4-27

Subject: Housing and Urban Development Building, West Elevation

Date: April 1994

Description: Southwest entrance, with three outswinging doors and glass transom above, which has been closed off. This entrance is the only one of the four main entrances into the building which has been unaltered, except for the "Door Closed" signs. Note staining on the white cement plaster ceiling above.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects

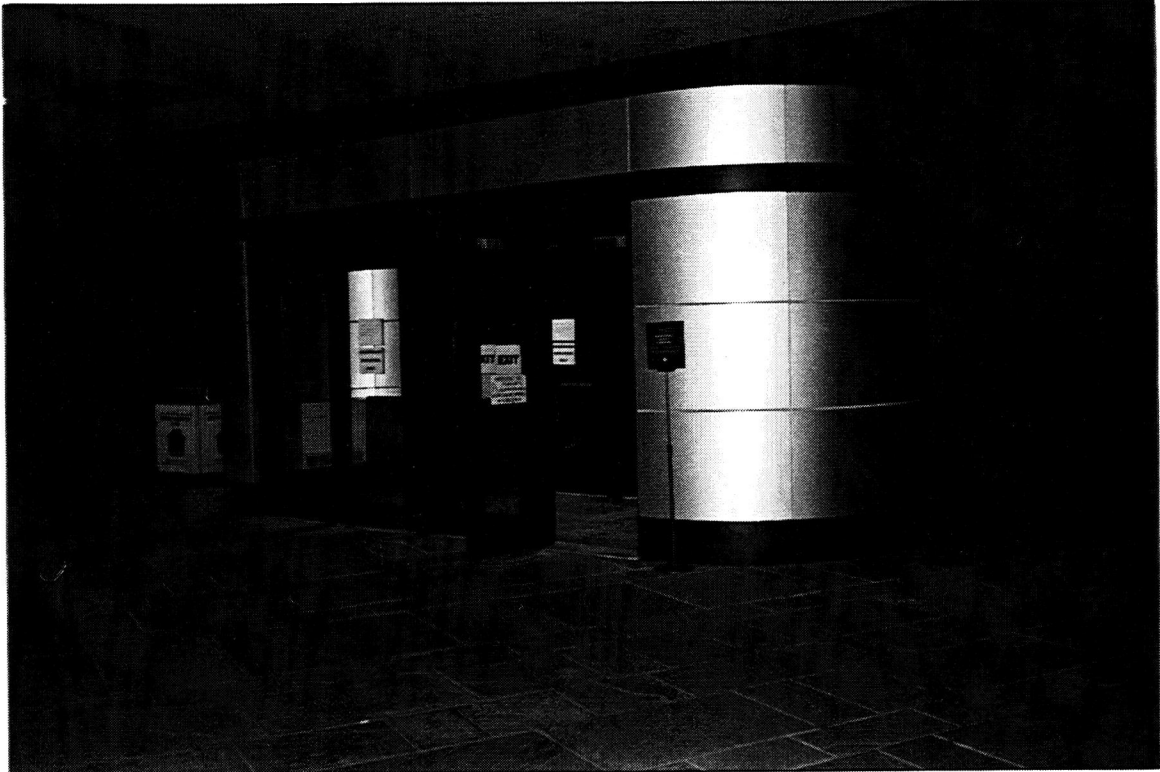


Illustration No. 4-28

Subject: Housing and Urban Development Building, West Elevation

Date: December 1994

Description: Northwest entrance, with recently added airlock vestibule. Original glass and black anodized aluminum doors on the inside have been removed and replaced with electric sliding doors; original glass transom above remains. The new vestibule, constructed of satin finish aluminum with a black base, includes glass side walls and oval shaped vestibule area with electric opening sliding doors.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-29

Subject: Housing and Urban Development Building, North Elevation

Date: November 1994

Description: View looking west across Seventh Street (compare with historic photo, Illus. No. 3-59). Hollow concrete triangular block walls set six high form walls to screen off-street parking from passersby on D Street, although section closest to Seventh Street has been removed. Landscaping is as originally designed with two Japanese pagodas located on each end of a strip inside the sidewalk and English ivy used as a ground cover along the strip and at corners of the building. A new aluminum sign with blue background identifying the building has been added on the northeast corner below the granite faced end wall.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-30

Subject: Housing and Urban Development Building, North Elevation

Date: November 1994

Description: View looking west of parking area outside the building. Original concrete light standard remains in place, although light fixture has been replaced with clear glass globe. Spotlights have been added to the building on the beams above the pilotis. The parking attendant's booth, designed by Marcel Breuer and Associates, is of wood frame construction and is located under the pilotis on the west side of the elevation.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

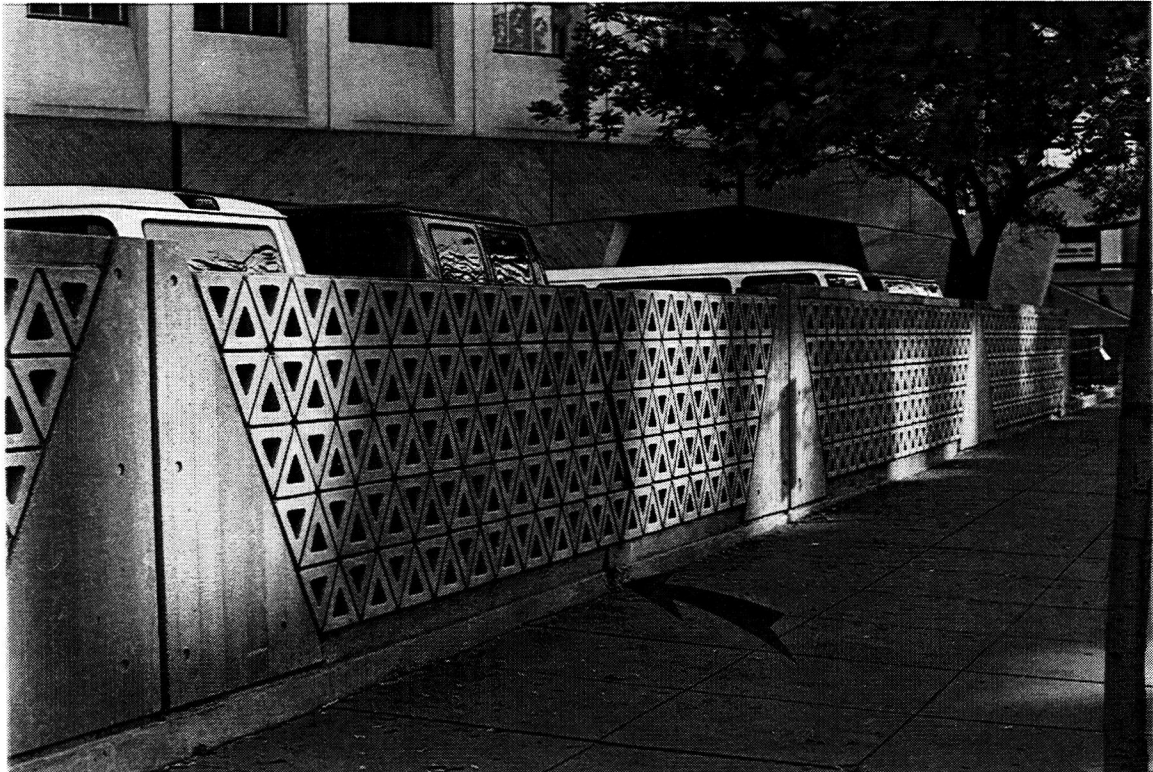


Illustration No. 4-31

Subject: Housing and Urban Development Building, North Elevation

Date: November 1994

Description: View of screen wall looking west. Note precast "bookend" walls on ends of walls, missing coping along top of wall, and the large crack which has developed on the base.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-32

Subject: Housing and Urban Development Building, North Elevation

Date: November 1994

Description: Building lighting pits under northwest corner of the stair tower. The vents on the pits are rusting and corroding.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

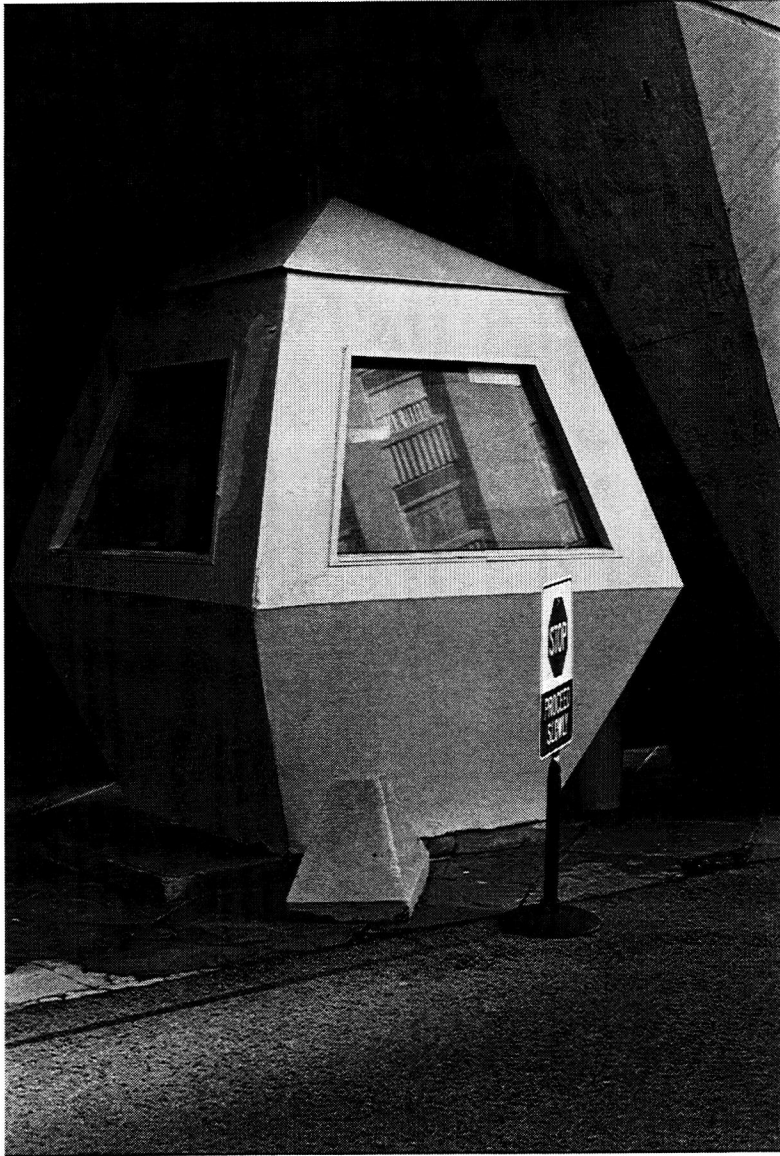


Illustration No. 4-33

Subject: Housing and Urban Development Building, North Elevation

Date: November 1994

Description: Hexagonal shaped parking attendant's booth, set under pilotis along edge of paved driveway. The booth was originally designed by Marcel Breuer and Associates and is built of wood frame construction with a stucco finish. It is in fair condition although it has several cracks and chips. Also note original precast concrete stanchion, not in its original location.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-34

Subject: Housing and Urban Development Building, South, Southeast End Wall and East Elevations

Date: November 1994

Description: View looking northwest across Southwest Freeway/I-395 with L'Enfant Plaza on the west side of the building and US Department of Transportation on the east side.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

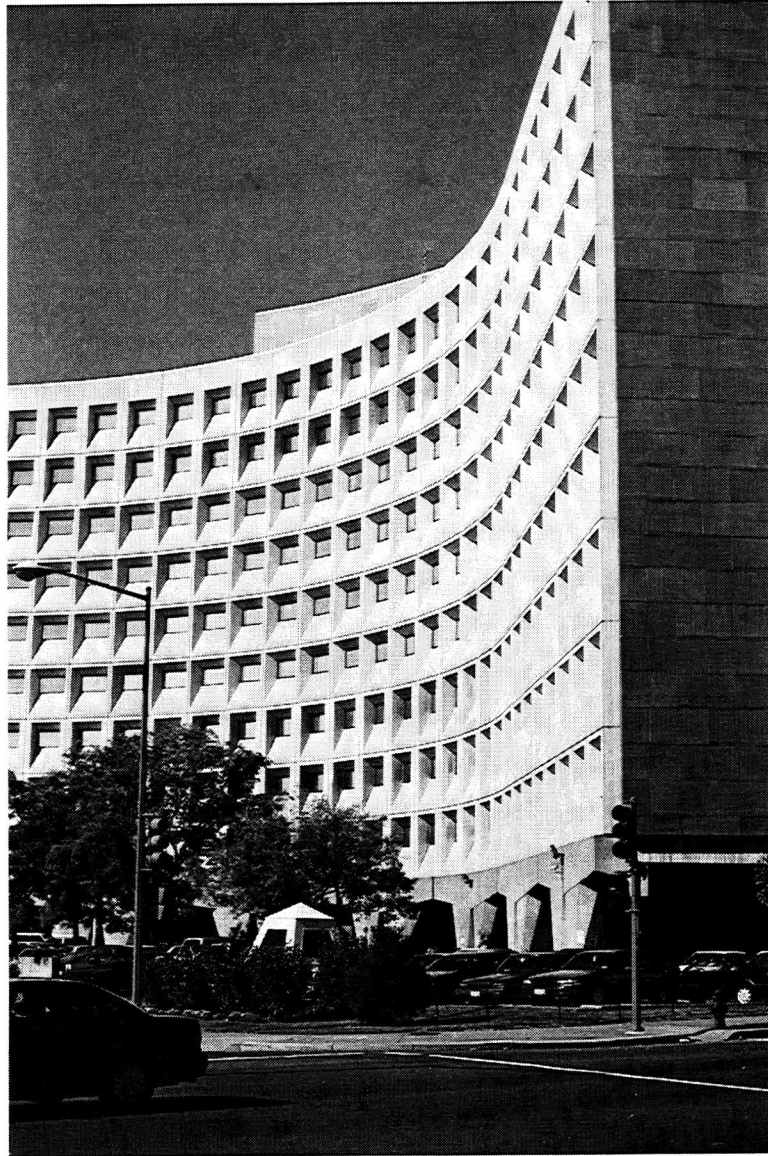


Illustration No. 4-35

Subject: Housing and Urban Development Building, South Elevation

Date: November 1994

Description: View looking west across Seventh Street with southeast granite faced end wall on right. Note staining below granite panels on end wall. The hexagonal shaped original parking attendant's booth, designed by Marcel Breuer and Associates, was replaced in 1988 and relocated in 1990, although it is believed the replacement booth was modeled on the original one in style and materials. Shrubs seen on the corner of the frontage road and Seventh Street were not in the original landscaping scheme. Non original light fixtures and signs have been mounted on the beams and pilotis of the building.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-36

Subject: Housing and Urban Development Building, South Elevation

Date: November 1994

Description: View looking west across parking area with five Japanese pagodas and English ivy on the central island. An original concrete light standard is in the center of the island with the original light fixture replaced by a clear glass globe. Metal railings have been added; these were not shown on the original drawings.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-37

Subject: Housing and Urban Development Building, South Elevation

Date: April 1994

Description: View looking east across top of walls of below grade service entrance, showing Japanese pagoda trees and English ivy. Landscaping on the south elevation follows the original landscaping drawing.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-38

Subject: Housing and Urban Development Building, South Elevation

Date: April 1994

Description: View looking west, showing asphalt paved driveway, Japanese pagoda trees, English ivy, and original concrete bollards set next to concrete pilotis. Signs have been added to the pilotis as well as spotlights and conduit mounted above on the concrete beam. A metal railing along the parking area has also been added.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-39

Subject: Housing and Urban Development Building, South Elevation

Date: November 1994

Description: View looking north from frontage road along Southeast Freeway/I-395 at below grade loading dock entrance. The loading dock roll-up door was replaced in 1989. Note the large stain from a leak on the east wall and spotlights and conduit on the west wall.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-40

Subject: Housing and Urban Development Building, South Elevation

Date: April 1994

Description: Southwest wing, under colonnade, showing parking area, new bluestone paving and original triangular concrete block screen wall, which is stained and dirty from automobile exhaust. Parking signs have been placed on the pilotis.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects

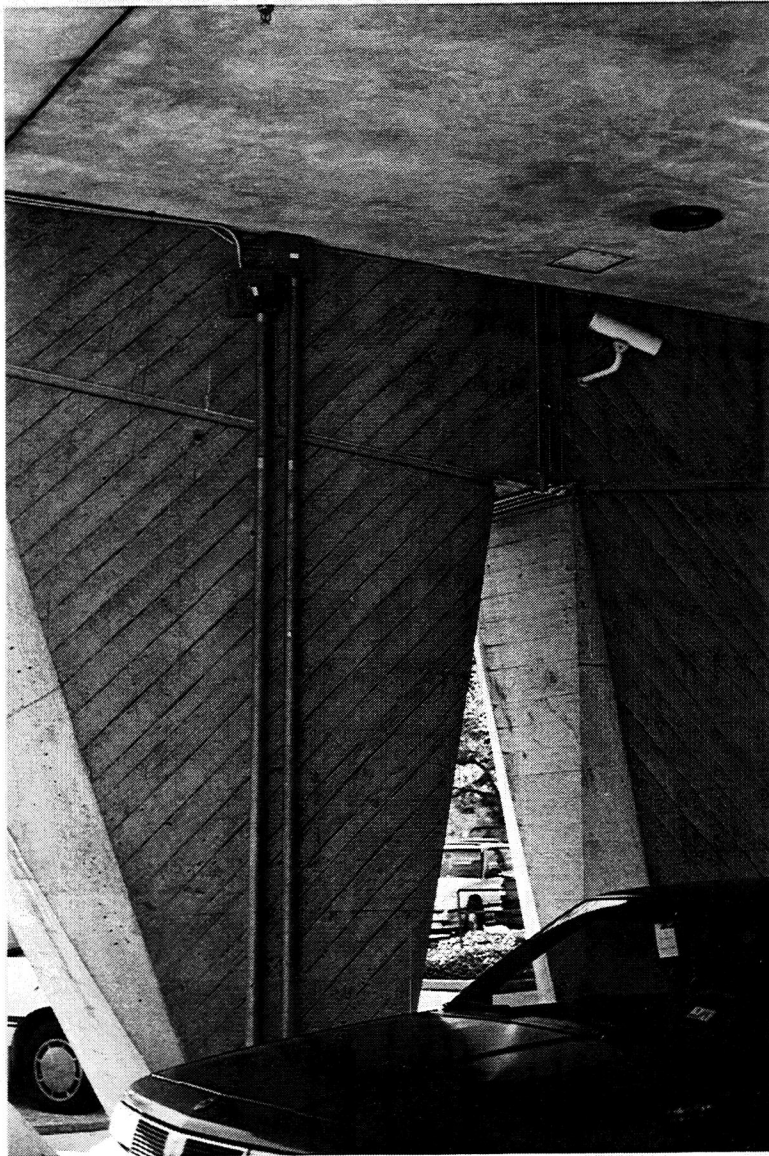


Illustration No. 4-41

Subject: Housing and Urban Development Building, South Elevation

Date: November 1994

Description: View under south end wall showing dirty white cement plaster ceilings, corroded access panel in ceiling, and conduit and light fixture added to inside of pilotis.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

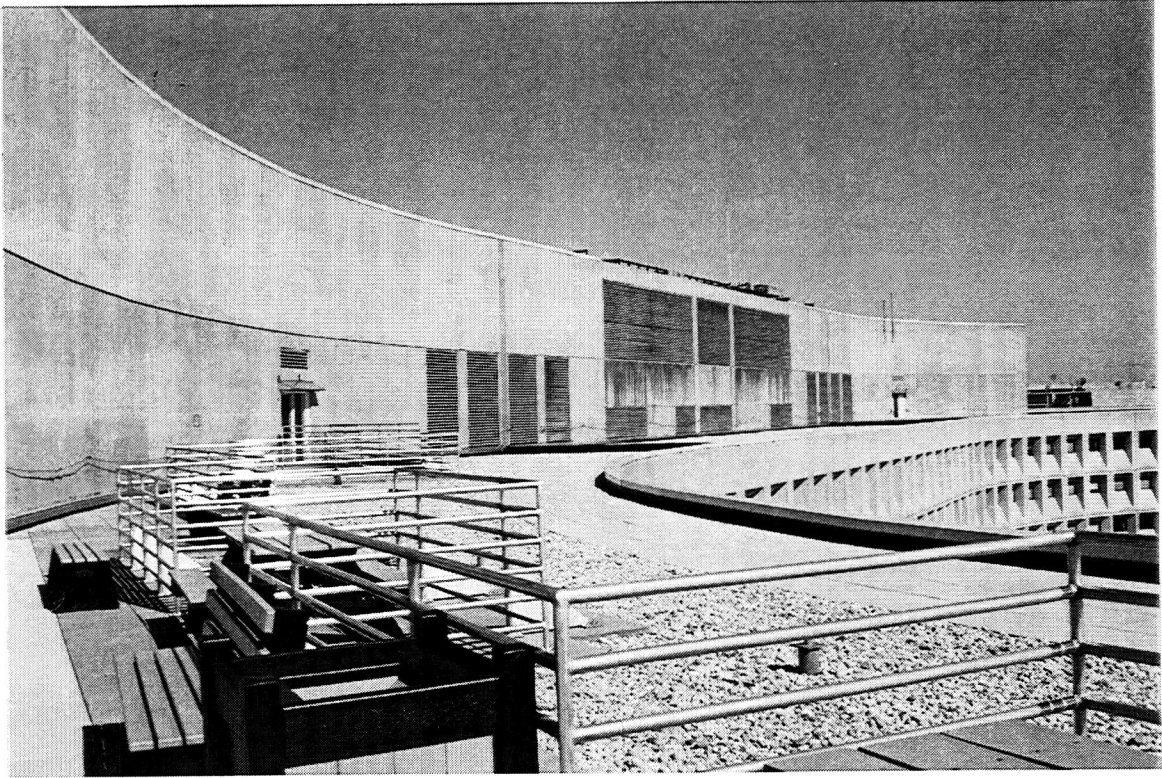


Illustration No. 4-42

Subject: Housing and Urban Development Building, Roof

Date: April 1994

Description: East side of penthouses, looking north from roof observation terrace. Note staining from exhaust below large aluminum mill louvers. The original roof terrace was built shortly after the building's completion in 1970 with redwood decking. It was removed and replaced in 1991 with 2'x2' concrete pavers.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects

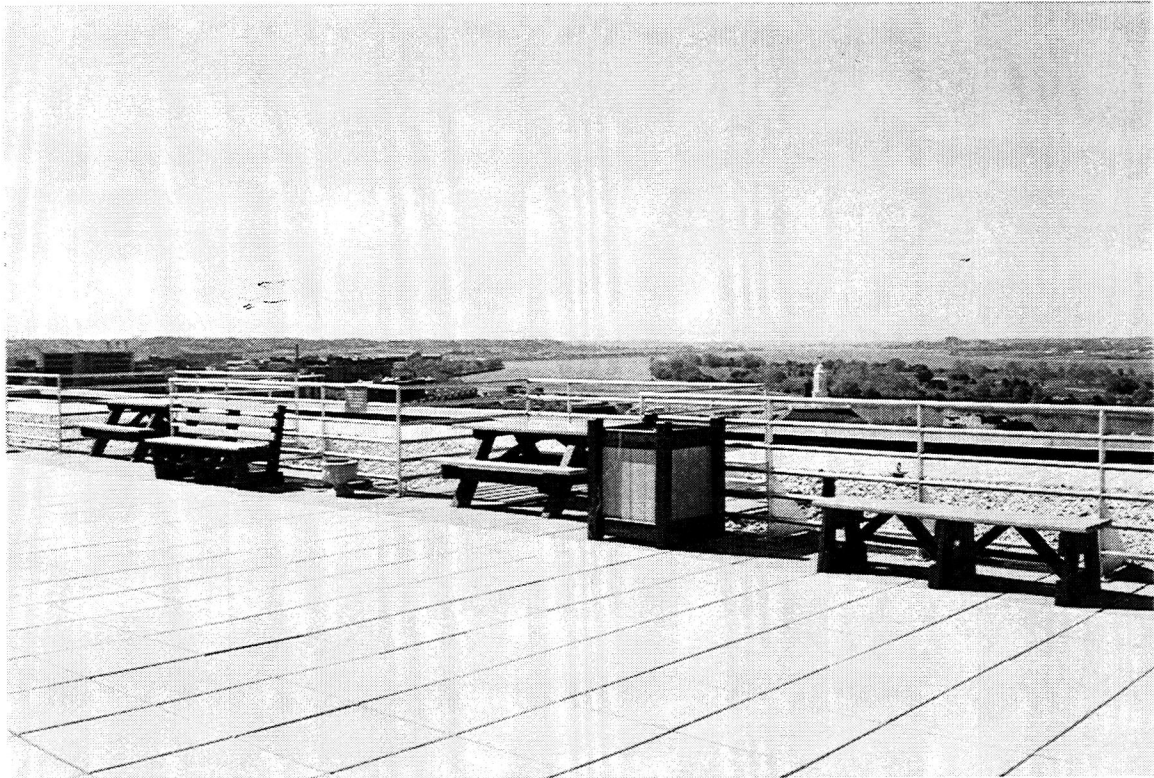


Illustration No. 4-43

Subject: Housing and Urban Development Building, Roof

Date: April 1994

Description: Roof terrace, located on southeast wing of building, looking southwest. The deck was installed in 1991, replacing an original redwood deck constructed in 1970, shortly after the building's completion. The terrace is laid in 2'x2' concrete pavers and has picnic tables, benches, trash receptacles and ashtrays, all surrounded by protective aluminum pipe railings.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects

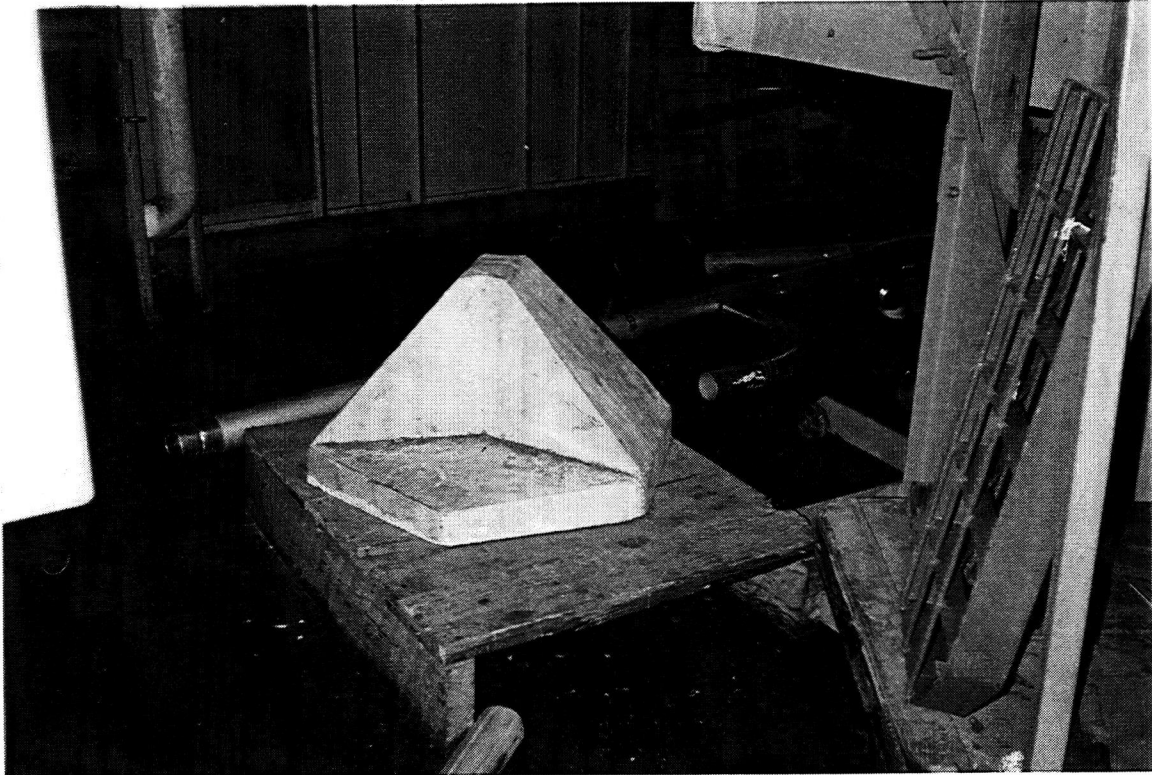


Illustration No. 4-44

Subject: Housing and Urban Development Building, Subbasement

Date: July 1994

Description: Original precast concrete stanchion (or bollard) on pallet in subbasement. The stanchions, hexagonal in plan, were supplied by the American Stone Company, and were used originally on the east plaza to designate a driveway area. Stanchions with rectangular bases were used along the concrete pilotis on the north and south elevations to protect them from vehicular traffic. The stanchions were removed from the east plaza prior to 1977; most remain in place on the north and south elevations.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-45

Subject: Housing and Urban Development Building, Southeast (Main) Entrance Lobby

Date: November 1994

Description: View looking south (compare with historic photo, Illus. No. 3-60). Original fabric includes natural anodized finish aluminum "Great Seals" in entry vestibule, guard's observation window, bushhammered concrete walls, recessed ceiling lights and bluestone flooring beneath carpeting. Changes to original fabric include addition of aluminum and glass doors and transom vestibule, new guard's desk with security devices and X-ray walk through, new gypsum board ceilings installed during sprinklering of the building, and carpeting. Concrete walls are soiled; areas around ceiling diffusers are dirty.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-46

Subject: Housing and Urban Development Building, Southeast (Main) Entrance Lobby

Date: November 1994

Description: Original "Great Seals," constructed of natural anodized finish aluminum and located on the south wall of the vestibule of the main building entrance. The seals are in excellent condition.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-47

Subject: Housing and Urban Development Building, First Floor, Northeast Lobby Area

Date: December 1994

Description: Southeast lounge area with modern furniture and carpeting. Original display case remains, but rear plywood panel has been removed and case is currently empty. Original lighting trough with recessed light fixtures remains above.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

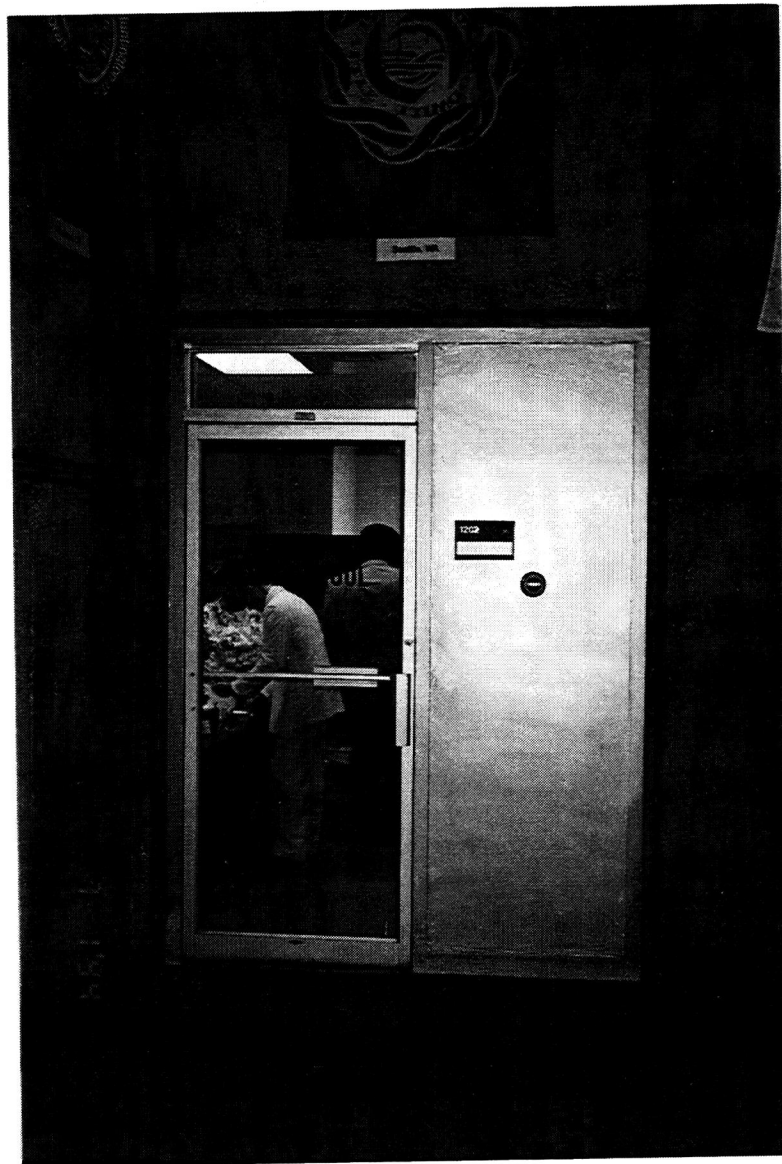


Illustration No. 4-48

Subject: Housing and Urban Development Building, First Floor, Southwest Lobby Area

Date: July 1994

Description: "HUD Motor Pool" entrance. According to original drawings, the original design intent was for the fixed panel to be a fixed glass and aluminum frame, however, during a construction, due to the location of a duct, a change was made to replace the glass panel with a fixed panel painted to match the surrounding frame.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-49

Subject: Housing and Urban Development Building, First Floor, Southwest Lobby Area

Date: July 1994

Description: South entrance to cafeteria dining area. Large 12 inch plastic letters painted silver have been added above doorway; double doors have also been painted silver. Above the letters are glue stains from a previous sign as well as a metal hook protruding from the concrete where a sign, probably the original sign for the cafeteria, used to hang.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-50

Subject: Housing and Urban Development Building, First Floor, North Entrance Lobby

Date: July 1995

Description: View looking north (compare with historic photo, Illus. No. 3-63). Bluestone paving has been coated with multiple coats of wax with wax splashed up onto recessed concrete wall bases; carpet runners have been added; bushhammered concrete walls are dirty; decorative flags have been hung from the ceiling; original white cement plaster original ceiling has been replaced with gypsum board.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-51

Subject: Housing and Urban Development Building, First Floor, South Elevator Lobby

Date: November 1994

Description: View looking west towards southwest entrance (compare with original photo, 3-57). Bluestone paving has been coated with multiple coats of wax with wax splashed up onto recessed concrete wall bases, carpet runners have been added, bushhammered concrete walls are dirty, original elevator "UP" and "DOWN" lights have been replaced with single UP/DOWN floor indicator signs, dark gray painted elevator doors and frames have been repainted light gray, decorative flags have been hung from the ceiling, original skeleton clock has been removed on south wall and receptacle covered with a flag, new clock has been added on north wall, original white cement plaster original ceiling has been replaced with gypsum board, wall hung ashtray has been removed and replaced with floor can, recycling bin has been added; and large silver numbers have been added to show the floor number ("1").

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

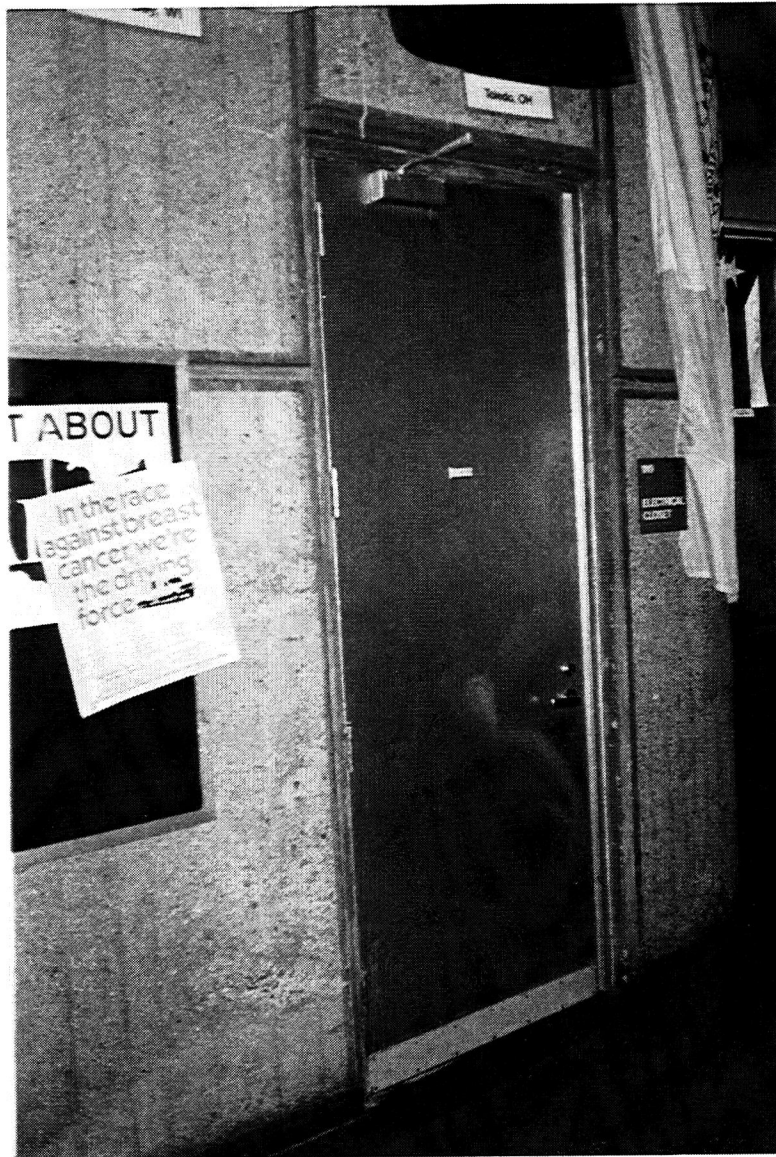


Illustration No. 4-52

Subject: Housing and Urban Development Building, First Floor, North Entrance Lobby

Date: July 1994

Description: Electric Closet door, typical of finishes of service doors in core areas of the building with doors and frames painted silver. Note new aluminum frame bulletin board and signage mounted on wall.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-53

Subject: Housing and Urban Development Building, First Floor Cafeteria

Date: April 1994

Description: View looking northwest (compare with historic photo, Illus. No. 3-64). Note concrete columns which have been painted white and had painted wooden capitals added to the tops. Other non original fabric includes new acoustical tile ceiling with recessed light fixtures, furniture, street light fixtures, plants, black dividing walls around tray and trash areas, flags and other "Deco" ornamentation.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects

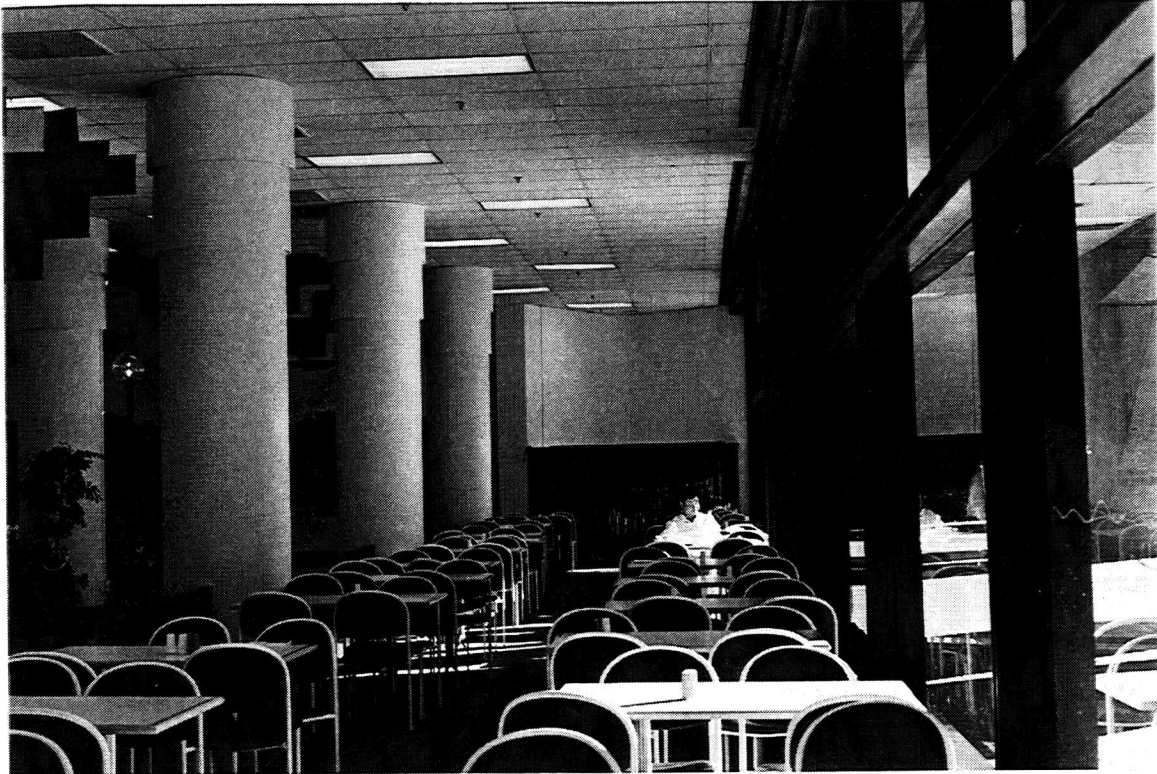


Illustration No. 4-54

Subject: Housing and Urban Development Building, First Floor Cafeteria

Date: November 1994

Description: View looking south towards splayed concrete walls of exterior entrance (compare with historic photo, Illus. No. 3-64). Note also the original columns which have had wooden capitals added and been painted white, new acoustical tile ceilings with recessed lights, flags, artificial plants and furniture. Compare with original cafeteria photo, Illus. No. 3-64.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-55

Subject: Housing and Urban Development Building, Tenth Floor, South Elevator Lobby

Date: July 1994

Description: Typical upper floor elevator lobby looking west with original exposed concrete walls, 12" x 12" gray vinyl floor tile and photomural. Changes include replacement of plaster ceilings with lower gypsum wallboard ceilings during installation of a sprinkler system in 1991-1992, painting of exposed concrete soffit over north elevator bank, and addition of numbers to designate floor level. Concrete walls and recessed wall bases are soiled and stained. Recessed lights in gypsum board ceilings are new; recessed lights cast into the concrete soffit are original. New fluorescent lights have been installed above the concrete soffit to replace the originals.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-56

Subject: Housing and Urban Development Building, First Floor, North Lobby, Public Toilet Room

Date: April 1994

Description: Typical first floor public toilet room with dark gray 1" x 1" unglazed ceramic tile floors with gray portland cement grout, 4-1/4" x 4-1/4" light gray ceramic tile walls set in a vertical ashlar pattern with white grout joints, steel enameled toilet partitions, white porcelain fixtures with wall hung sinks, and satin finish stainless steel accessories including mirror/paper towel/soap dispensers and in-wall trash receptacles, with last stall designed for handicapped access. Eggshell blue plaster walls were originally painted gray; toilet partitions were originally white.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects

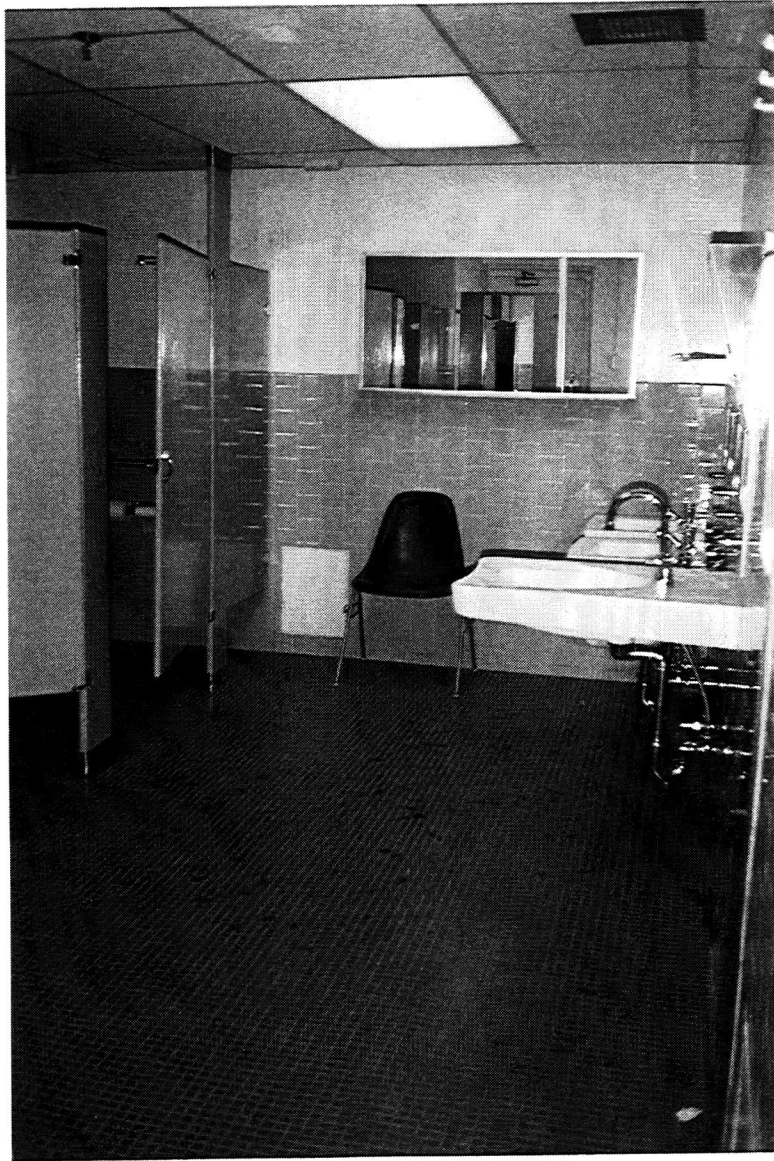


Illustration No. 4-57

Subject: Housing and Urban Development Building, Tenth Floor, South Elevator Lobby, Women's Toilet Room

Date: July 1994

Description: Typical public toilet room with original dark gray 1" x 1" unglazed ceramic mosaic tile floors, 4-1/4" x 4-1/4" light gray ceramic tile walls set in a vertical ashlar pattern, steel enameled toilet partitions, wall hung sinks, and stainless steel accessories. One pair of toilet rooms in each lobby have been made handicapped accessible: changes include removal of vestibule wall and modification of the last stall with rail bars and addition of a handicapped wall hung sink. Original plaster ceiling has been replaced with lay-in acoustical tile with recessed lights; eggshell blue plaster walls were originally painted gray; toilet partitions were originally white.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-58

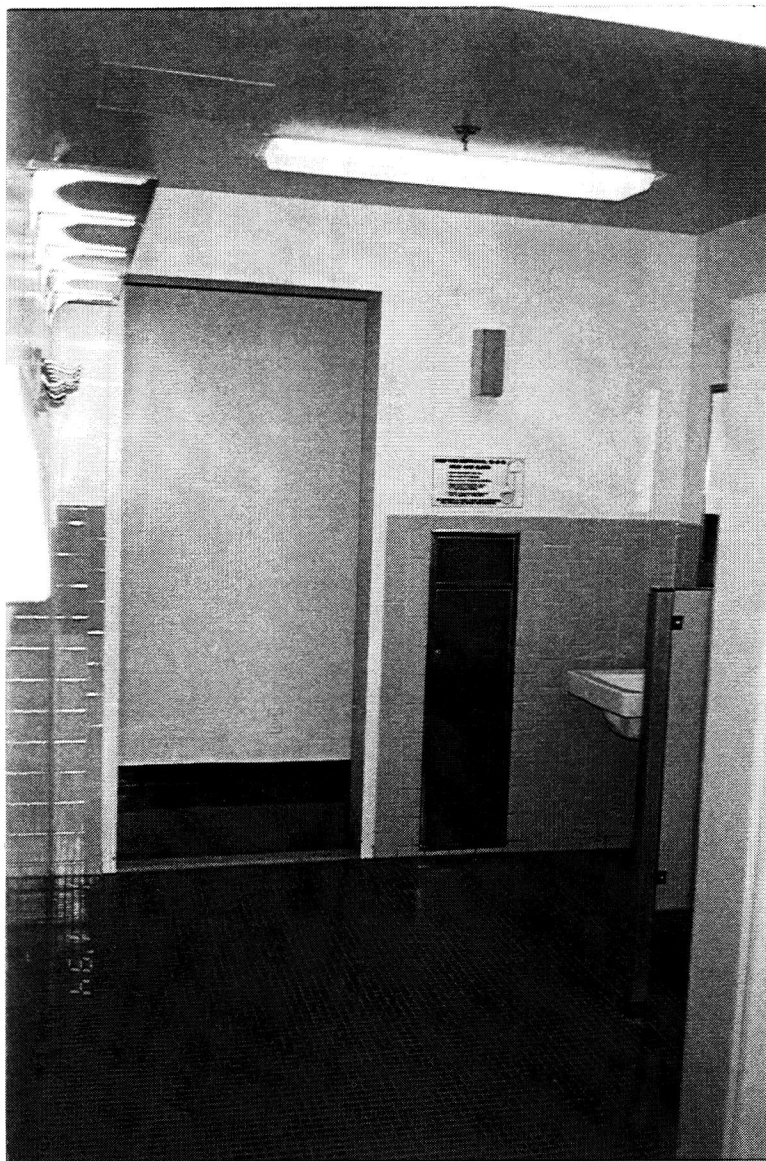
Subject: Housing and Urban Development Building, Tenth Floor, South Elevator Lobby, Men's Toilet Room

Date: July 1994

Description: Typical men's public toilet room with original plaster ceilings with surface mounted light fixtures, dark gray 1" x 1" unglazed ceramic mosaic tile floors, 4-1/4" x 4-1/4" light gray ceramic tile walls set in a vertical ashlar pattern and steel enameled toilet partitions. Room has been modified for handicapped access including removal of vestibule wall, modification of last stall with rail bars, and new wall hung sink. Original ceiling and fixtures remain. Paint colors have been changed: walls, originally gray, are now light blue; and partitions, originally white, have also been painted blue.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



- Illustration No. 4-59
- Subject: Housing and Urban Development Building, Tenth Floor, South Elevator Lobby, Men's Toilet Room
- Date: July 1994
- Description: Typical men's public toilet room with gypsum board ceilings with original surface mounted light fixtures, vestibule wall, dark gray 1" x 1" unglazed ceramic mosaic tile floors, 4-1/4" x 4-1/4" light gray ceramic tile walls set in a vertical ashlar pattern, steel enameled toilet partitions, wall hung sinks and satin finish stainless steel accessories. This room has not been modified for handicapped access; it still has the vestibule with plaster wall leading into the toilet room. Changes to original fabric include the replacement of plaster ceilings with gypsum board during addition of sprinklers and changes in paint colors, from gray to white walls, and from white to blue toilet partitions.
- Photographer: Reed A. Black, AIA
- Source: Oehrlein & Associates Architects



Illustration No. 4-60

Subject: Housing and Urban Development Building, Tenth Floor, South Elevator Lobby, Telephone Alcove

Date: July 1994

Description: Typical telephone alcove with original pegboard walls, gray vinyl cove base and wooden formica shelf. Original plaster ceilings have been replaced with acoustical tile with recessed lights and shelves, originally specified to be "Oxford Gray," have been replaced.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-61

Subject: Housing and Urban Development Building, Fifth Floor Corridor

Date: April 1994

Description: Typical office corridor looking south towards north core area showing original exposed concrete walls, original gray vinyl asbestos floor tile, service doors, drinking fountain and fire extinguisher. Changes include painting service doors silver, replacement of original splined acoustical tile ceiling with surface mounted fixtures with new acoustical tile ceiling with recessed light fixtures. Color coded wall hung room number signs have been added to orient visitors and employees, as well as signs marking telephone alcoves, fire extinguishers, etc.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-62

Subject: Housing and Urban Development Building, Fifth Floor, West Side

Date: July 1995

Description: Typical office corridor showing original plaster walls, original 12" x 12" gray random spatter vinyl asbestos tile floors, 6 inch gray vinyl cove base, and new lay-in acoustical tile ceiling. Original ceilings were splined acoustical tile with 8 foot long mounted fluorescent tube lights which ran lengthwise across the corridors. Note speaker for a public address system which has recently been added along the walls every 16 feet at ceiling height.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-63

Subject: Housing and Urban Development Building, Seventh Floor

Date: December 1994

Description: Typical original steel office door, metal kickplate spanning the door bottom, and steel frame. Originally the doors and transoms were painted a quadrant color to orient employees and visitors; in 1993, door frames and transoms were painted to match the original quadrant colors.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

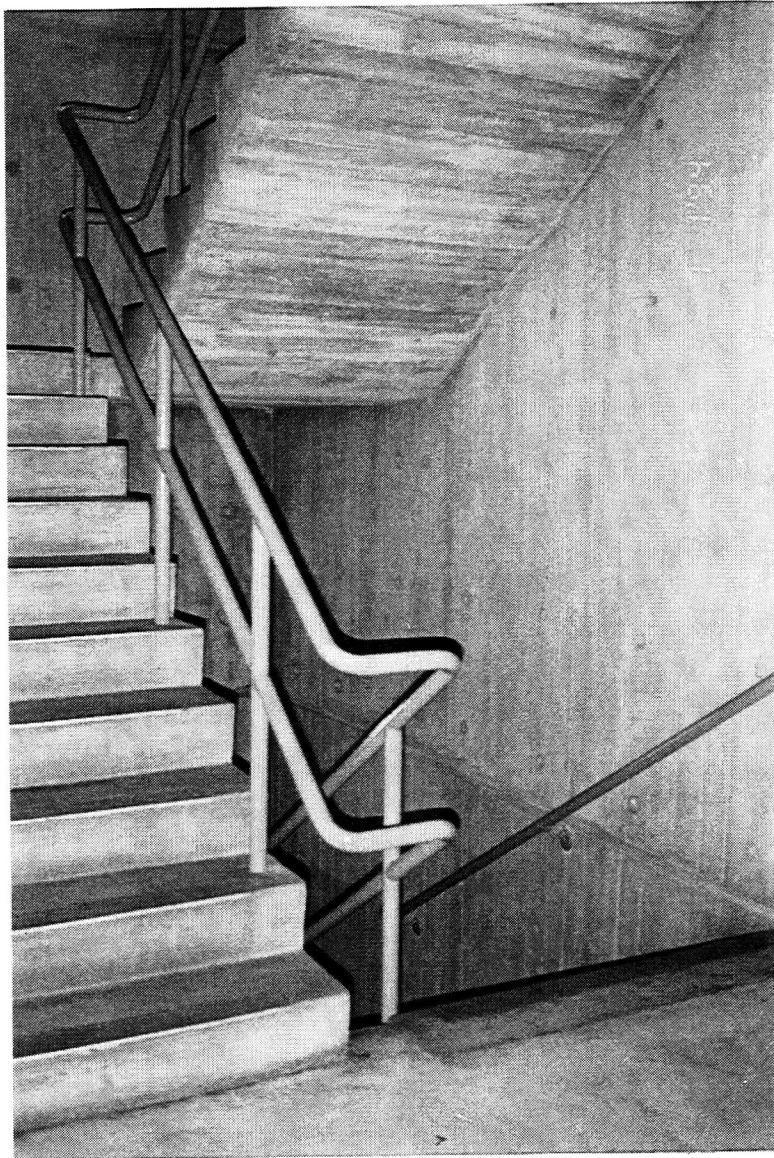


Illustration No. 4-64

Subject: Housing and Urban Development Building, End Stairwell #1, Eighth Floor

Date: July 1994

Description: Typical end stairwell with exposed concrete walls with vertical formwork marks, concrete treads, risers and landings, painted metal piperails and balusters on the inside of the stairs and painted metal piperail supported by brackets on the outside walls. The stairwells are in good condition except that sealant from the floors has been splashed up onto the wall bases, treads and risers.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects

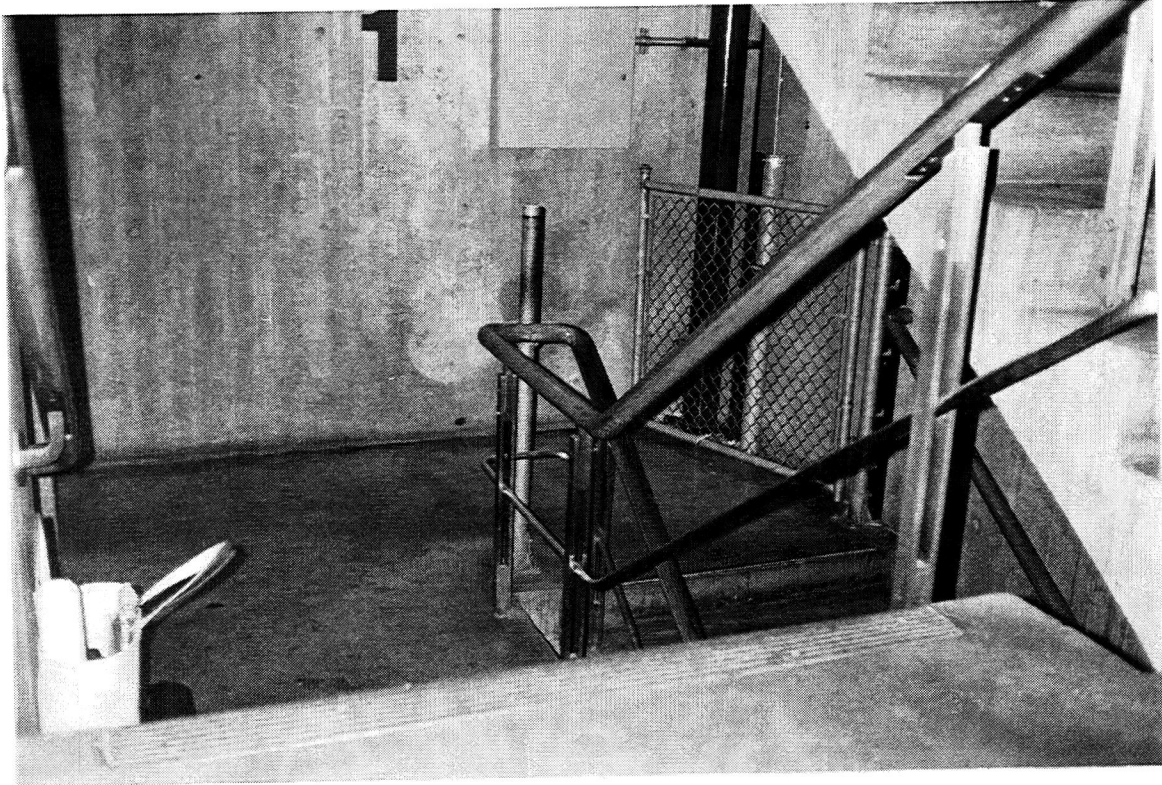


Illustration No. 4-65

Subject: Housing and Urban Development Building, Core Stairwell #6, First Floor, Southwest Area

Date: July 1994

Description: Typical core stairwell with concrete walls with vertical formwork marks, concrete treads, risers and landings and stainless steel railings with varnished white oak handrails. Numbers designating floor level have been added, as well as fencing and other mechanical/electrical devices. The stairwells are in good condition except that sealant from the floors has been splashed up onto the wall bases, treads and risers.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-66

Subject: Housing and Urban Development Building, Garage Stair, #F1

Date: July 1994

Description: View looking up at plaza exit (locked) and down to basement level, leading from basement to garage at north end of building. Concrete walls are bushhammered at plaza level with vertical formwork marks below. Railings on both inside and outside are steel with a varnished square cherry handrail. The stairways are in poor condition: walls are stained and dirty, with sealant from floors splashed up. Steel railings are corroding and cherry handrails are dirty and have a worn finish.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects

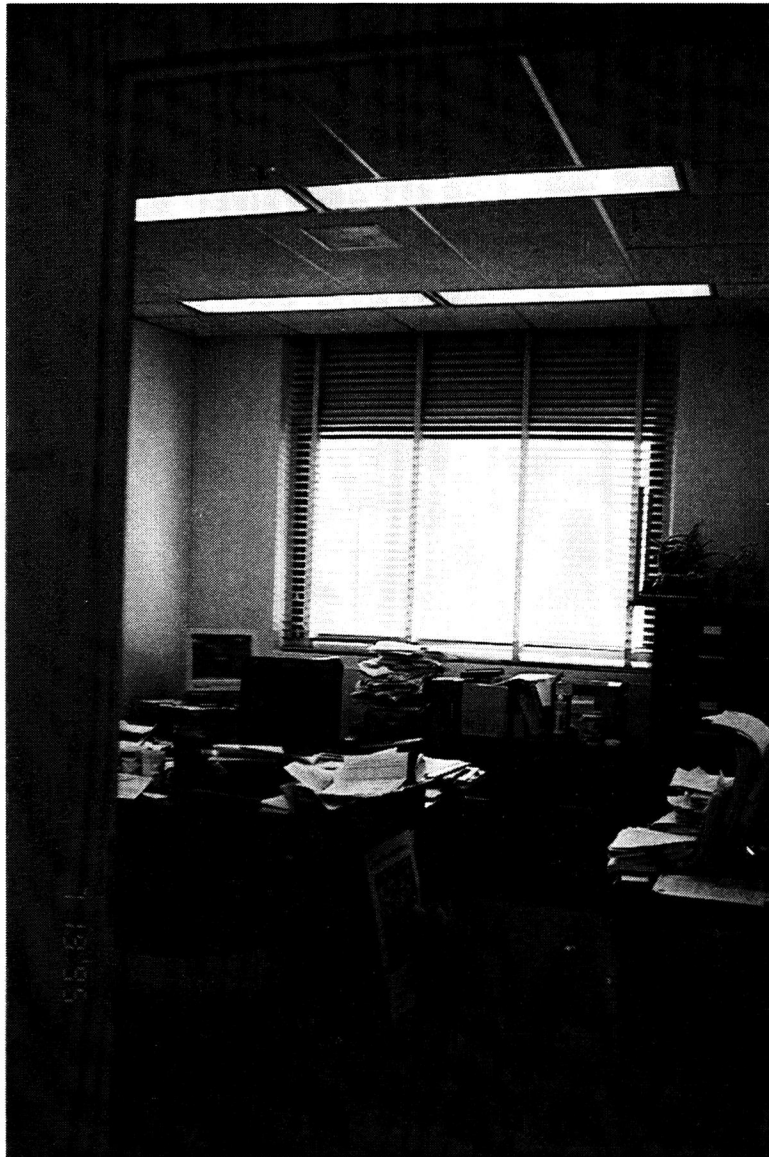


Illustration No. 4-67

Subject: Housing and Urban Development Building, Room #5234

Date: July 1995

Description: Typical office space. Floors have 12 inch carpet squares covering concrete floors with 4 inch high gray cove vinyl bases. Exterior walls are plaster with black anodized aluminum window frames and plate glass with original 2" wide gray Venetian blinds over window, and original metal wall panel with grill and access panel below window. Changes include new carpeting, replacement of gray Venetian blind tapes with white ones and replacement of original splined acoustical tile ceilings and 8 foot long fluorescent lights with 2' x 2' or 2' x 4' lay in acoustical tile ceiling with energy efficient fixtures.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

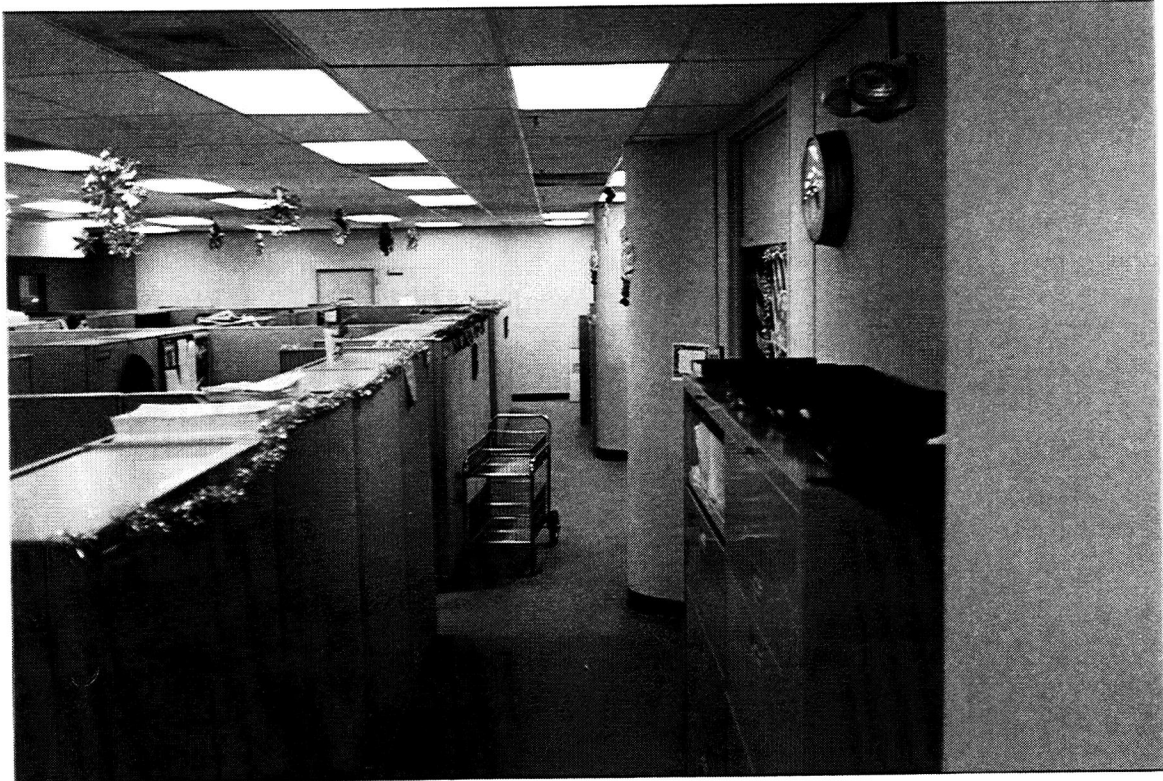


Illustration No. 4-68

Subject: Housing and Urban Development Building, Room #2135

Date: December 1994

Description: Original location of Staff Dining Room, which no longer exists and has been converted to general office space. Note plaster pilaster column covers similar in design to cafeteria dining room below, plaster walls and 4 inch gray cove base. The room originally had 12" x 12" gray vinyl asbestos tile, similar to the rest of the building. Changes to the space also include new carpeting and replacement of original splined acoustical tile ceilings and 8 foot long fluorescent lights with 2' x 2' or 2' x 4' lay in acoustical tile ceiling with energy efficient fixtures during sprinklering of the building.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

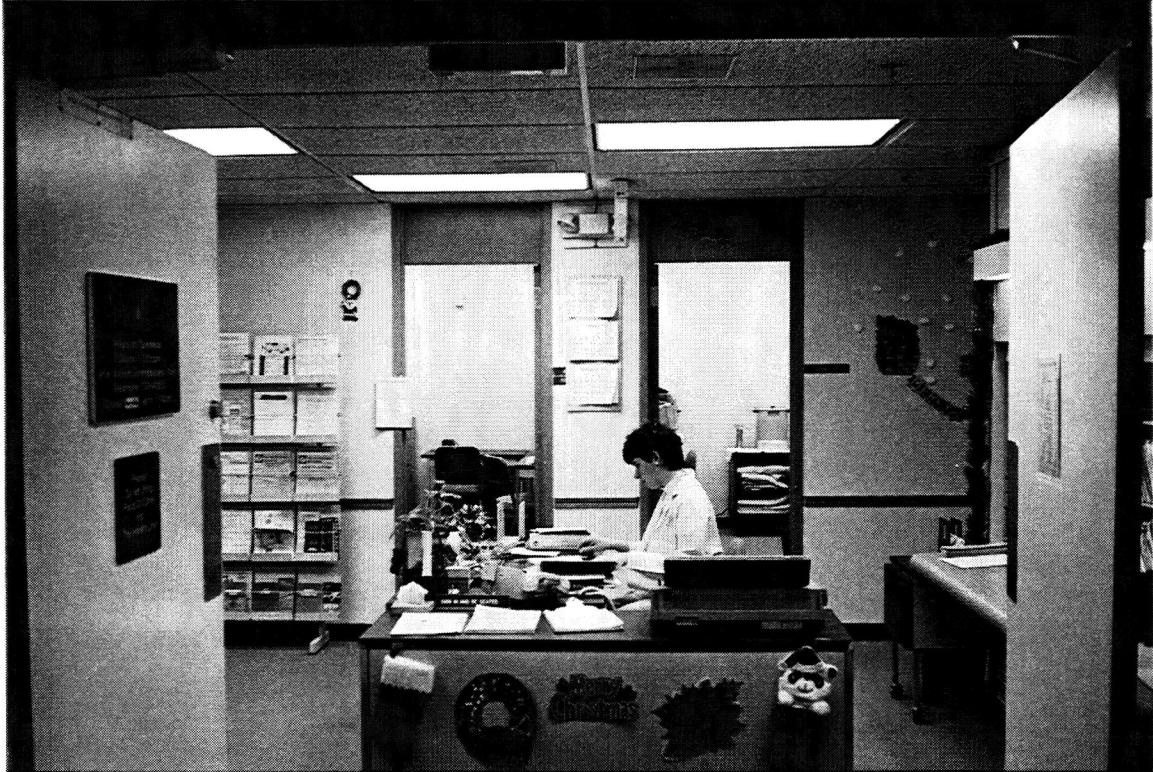


Illustration No. 4-69
Subject: Housing and Urban Development Building, Room #7239
Date: December 1994
Description: GSA Health Unit, view of reception area looking west.
Photographer: Reed A. Black, AIA
Source: Oehrlein & Associates Architects

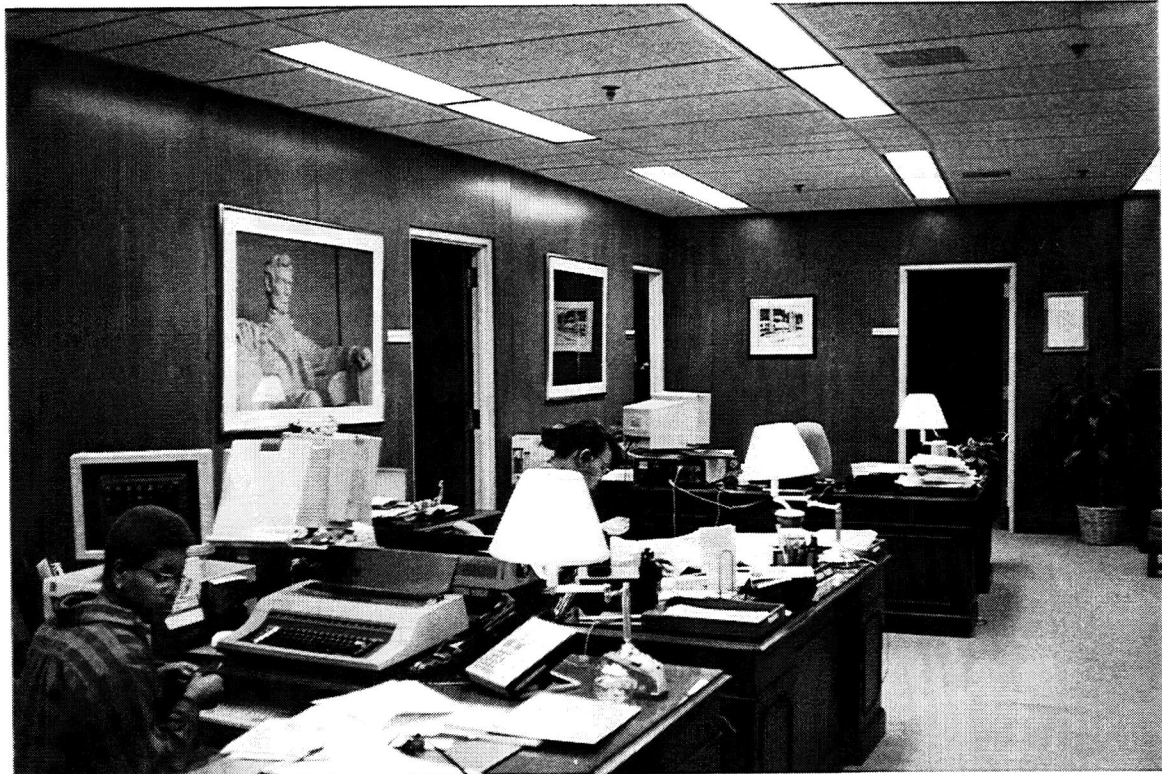


Illustration No. 4-70

Subject: Housing and Urban Development Building, Room #4100

Date: December 1994

Description: Reception/office area in typical Executive Office Suite (#4100-#9100), located behind south elevator lobby core area. Original American White Ash plywood paneling remains on the walls, as does original birch doors which were stained to match the ash paneling. New 12" x 12" rough finish acoustical tile ceilings have been installed, during sprinklering of the building as well as new roll carpeting.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

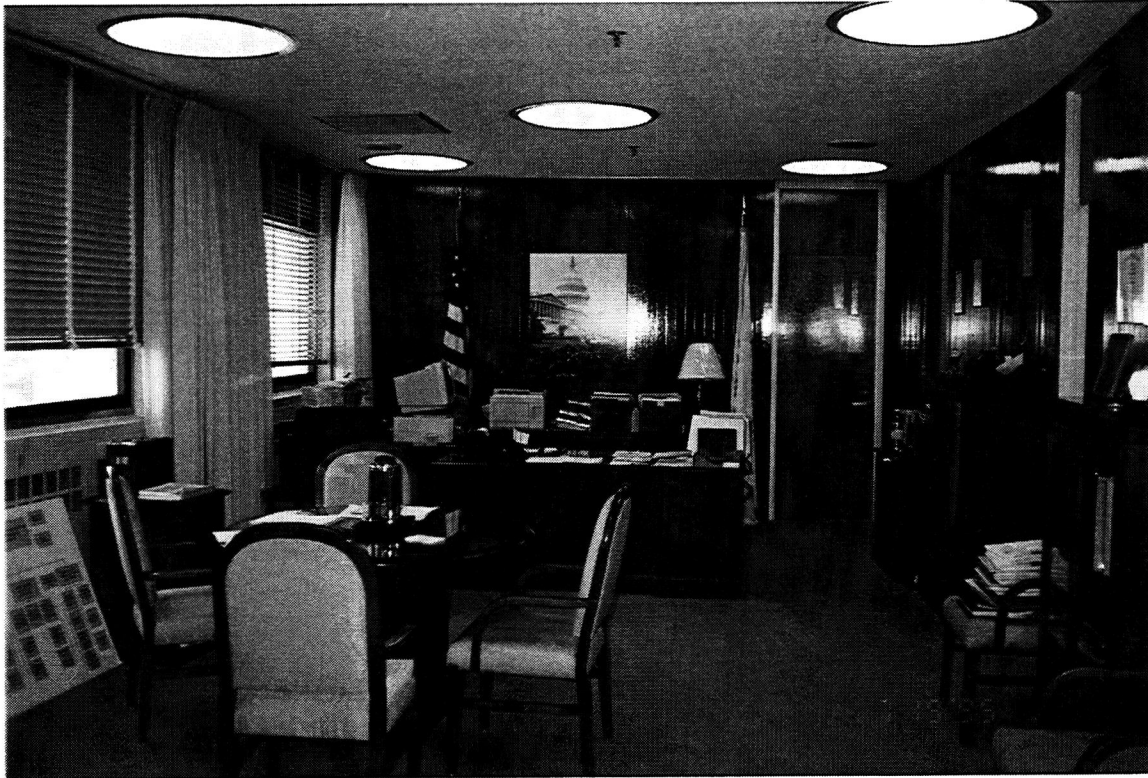


Illustration No. 4-71

Subject: Housing and Urban Development Building, Room #5100

Date: July 1995

Description: Executive office in typical Executive Office Suite (#4100-#9100), located behind south elevator lobby core area. Note 3/4" x 3" vertical tongue and groove American Cherry interior paneled walls, adjustable bookcases and doors. Exterior plaster walls include windows with original 2" wide gray Venetian blind over window, original metal wall panel with grill and access panel, carpeted floor, and original recessed 30-3/8" diameter acrylic dish light fixtures with six 30-watt fluorescent lamps mounted above. New carpeting and drapes have been installed, rough finish acoustical ceiling tiles have been replaced during installation of a sprinkler system, and, in most offices, gray tapes on the blinds have been replaced with white ones.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

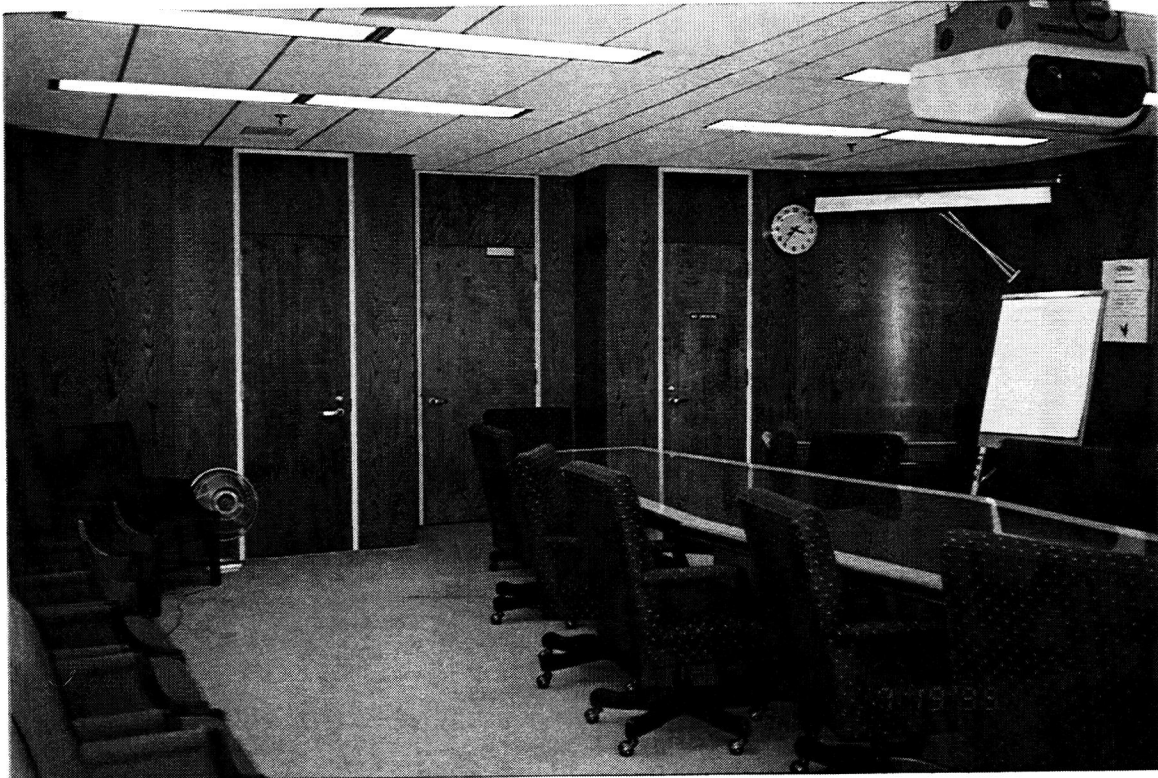


Illustration No. 4-72

Subject: Housing and Urban Development Building, Room #6202

Date: July 1995

Description: Large conference room in typical Executive Office Suite (#4200-#9200), located behind south elevator lobby core area, with entrance from executive office on east and from main corridor. Interior walls are paneled in American Ash plywood paneling with interior curved corners. Interior birch doors were originally stained to match the ash paneling. Original carpeting and drapes have been replaced, as has original rough finished splined acoustical tile ceiling. Exterior plaster walls include black anodized aluminum window frames with original 2 inch wide gray Venetian blinds over windows and original metal wall panel with grill and access panel below.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

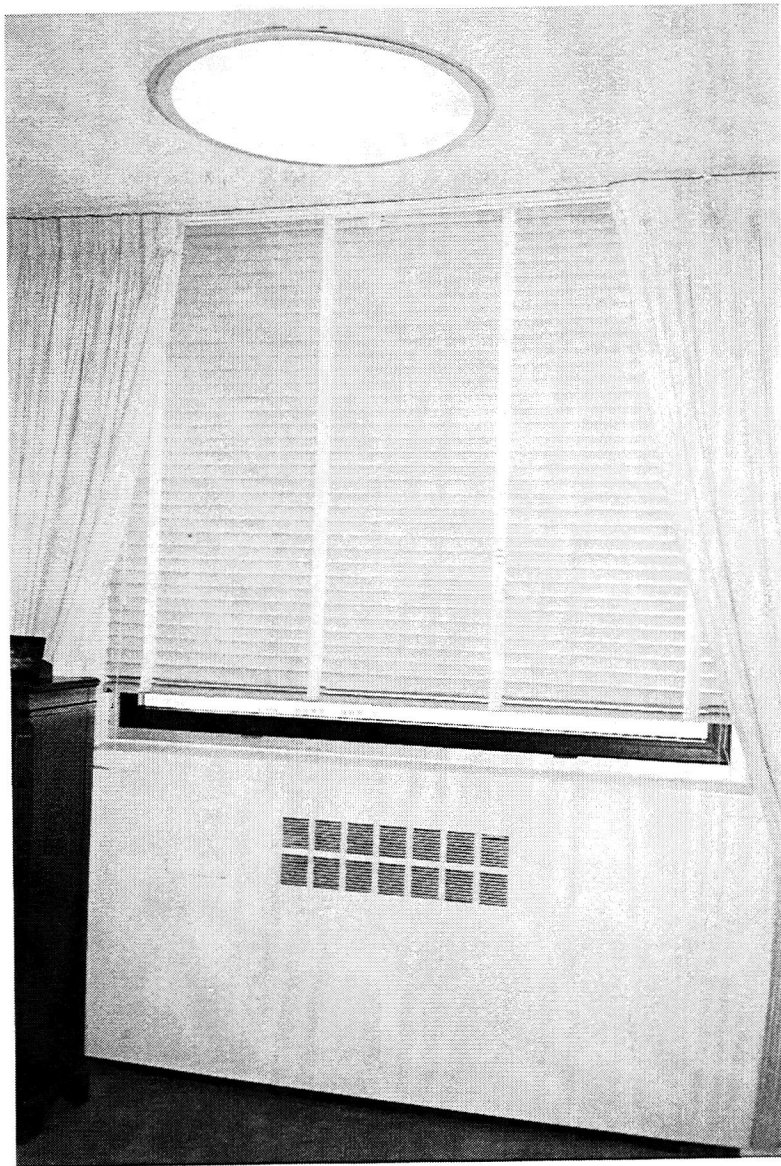


Illustration No. 4-73

Subject: Housing and Urban Development Building, Deputy Undersecretary, Room #10120

Date: July 1994

Description: Exterior wall in typical Executive Office Suite with window with original 2" wide gray Venetian blind over window, original metal wall panel with grill and access panel, carpeted floor, and original recessed 30-3/8" diameter acrylic dish light fixture which had six 30-watt fluorescent lamps mounted above. Acoustical ceiling tiles were replaced during installation of a sprinkler system and gray tapes on the blinds have been replaced with white ones.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-74

Subject: Housing and Urban Development Building

Date: July 1994

Description: Typical view of HVAC coils inside precast concrete window unit. Note exposed back of concrete precast panel which is ± 6 " thick at this location. A cost benefit analysis to determine if adding insulation at the back of panel and above the ceiling will reduce energy consumption should be prepared.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

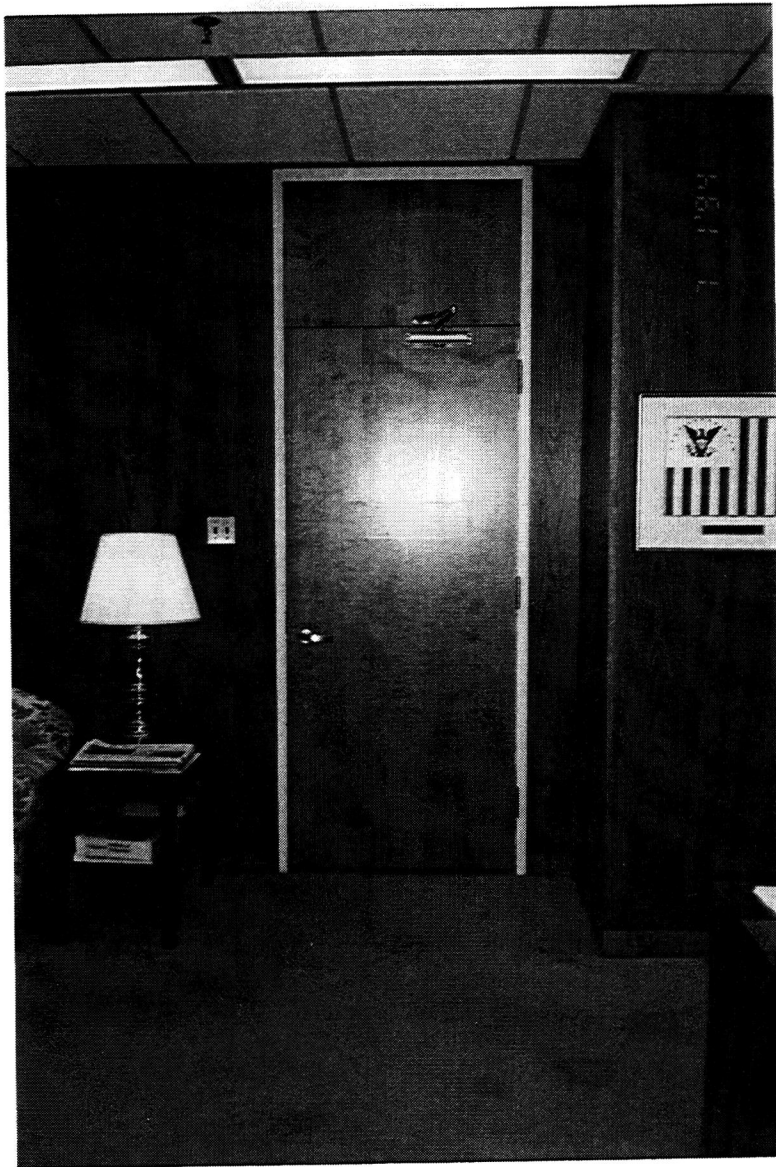


Illustration No. 4-75

Subject: Housing and Urban Development Building, Deputy Undersecretary, Room #10120

Date: July 1994

Description: Reception area in typical Executive Office Suite. Original ash plywood paneling has been stained and darkened. The birch door and transom, which were originally intended by the architects to be painted white or black, were originally stained to match the ash plywood paneling. Original splined 12" x 12" acoustical ceiling tiles with surface mounted fluorescent light fixtures have been replaced with a lay-in 2' x 4' or 2' x 2' ceiling tiles with recessed light fixtures. Rooms were originally carpeted; carpeting has been replaced.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects

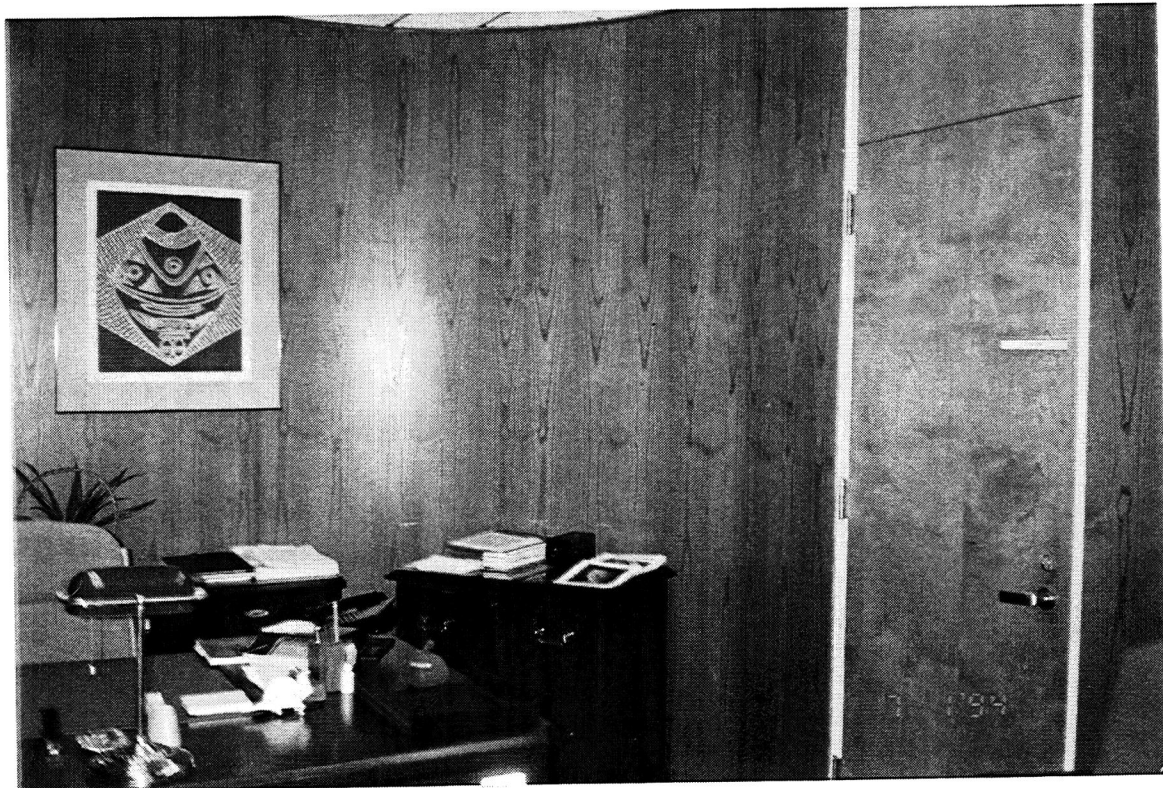


Illustration No. 4-76

Subject: Housing and Urban Development Building, Deputy Undersecretary, Room #10120

Date: July 1994

Description: Original small conference room in typical Executive Office Suite with ash plywood paneling with four rounded corners. The birch door and transom, originally intended by the architects to be painted white or black, was instead originally stained to match the ash paneling. The conference rooms in the executive suites have all been converted to office space.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects

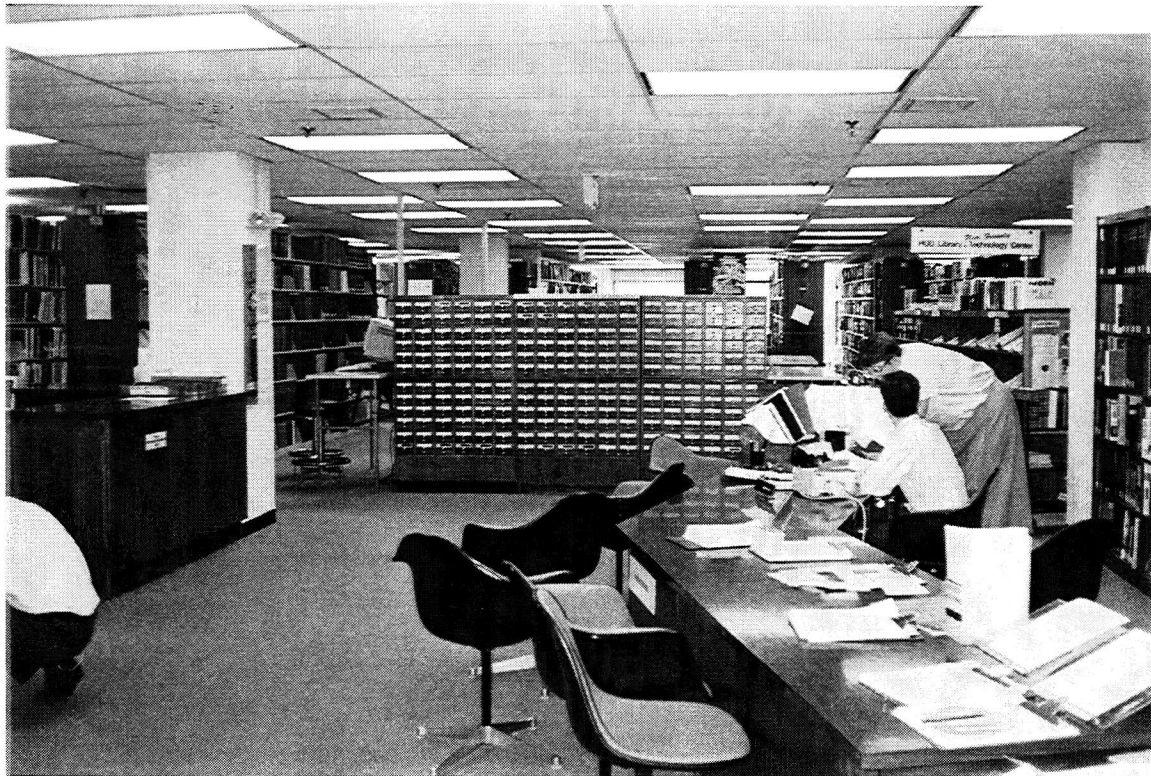


Illustration No. 4-77

Subject: Housing and Urban Development Building, Library, Room #8141

Date: July 1994

Description: View looking west from doorway into reception area, showing new carpeted floors (original was black) and new 2'x4' acoustical tile ceiling with recessed light fixtures. Much of the furniture, card catalogs and bookshelves are original. Signage has been added, as well as security lights and conduit (see column on left).

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects

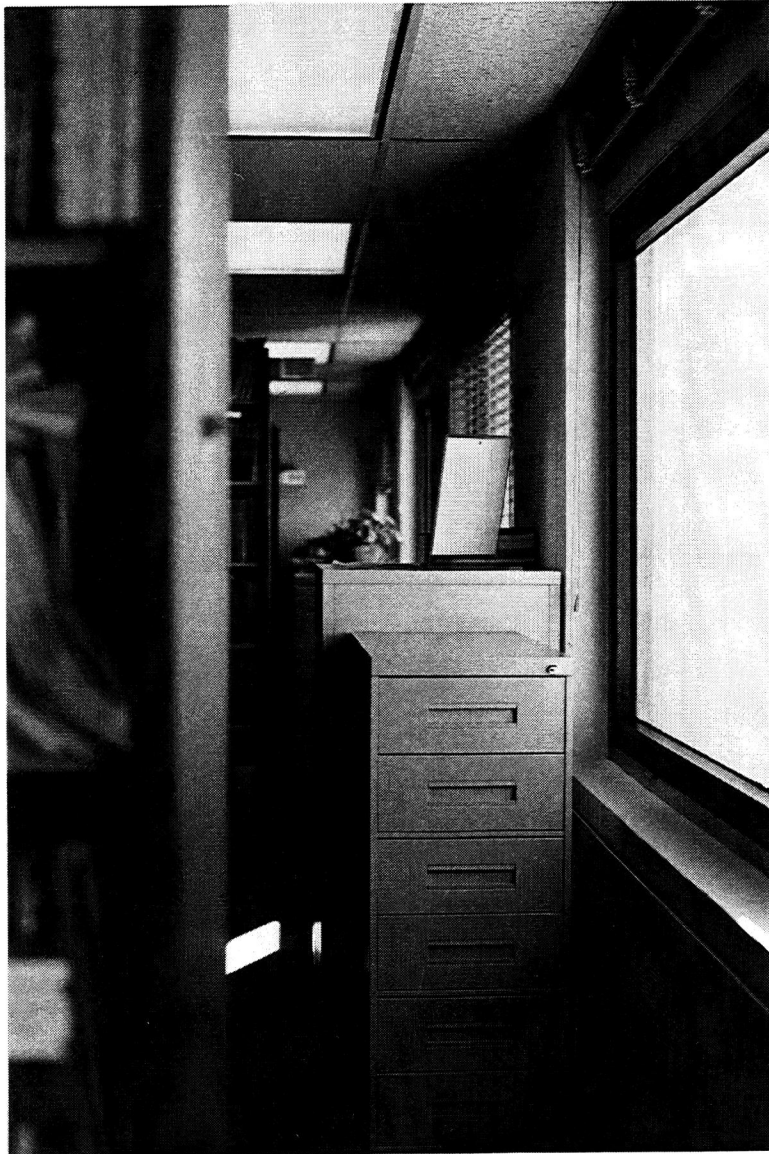


Illustration No. 4-78

Subject: Housing and Urban Development Building, Library, Room #8141

Date: November 1994

Description: View looking south along outside wall. Original splined acoustical tile ceiling with surface mounted lights has been removed and replaced with lay-in acoustical tile ceiling with recessed fluorescent light fixtures.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

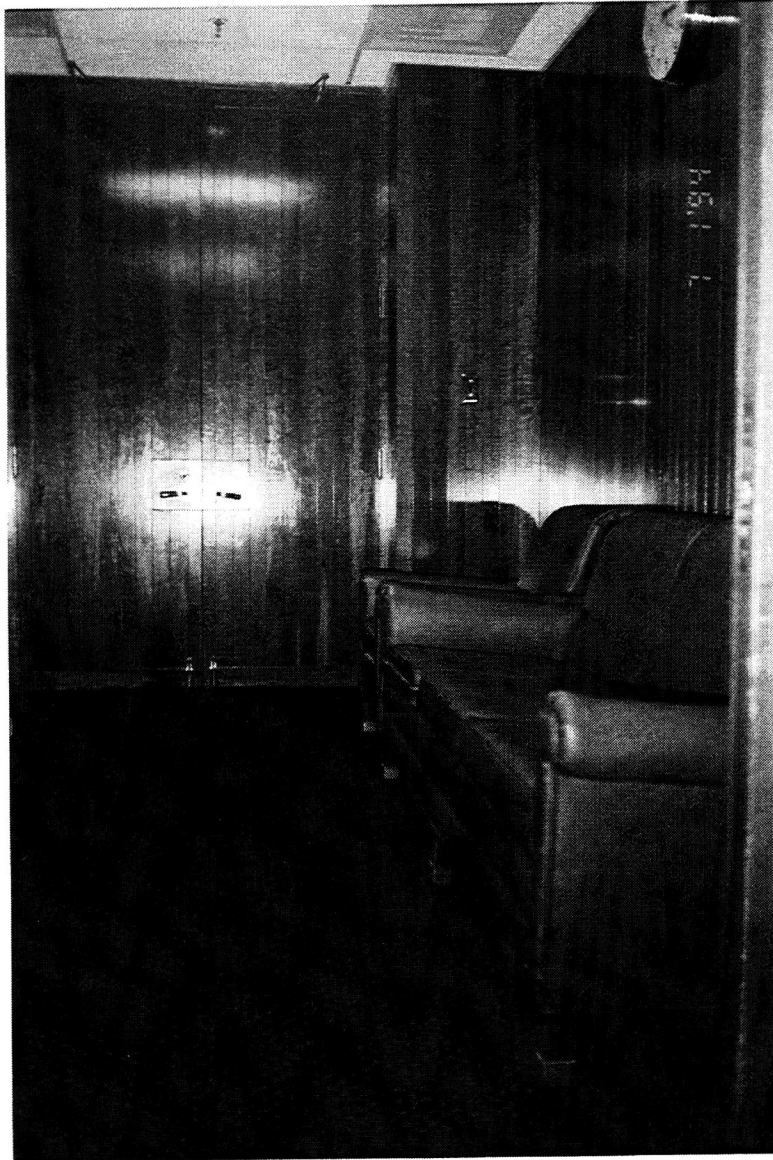


Illustration No. 4-79

Subject: Housing and Urban Development Building, Departmental Conference Room Foyer, Room #10233

Date: July 1994

Description: View looking west towards main entrance doors from corridor. On right is door leading into conference room. Walls are original 3" x 3/4" vertical American Cherry paneling. Changes to the space include new carpeting, new 2'x4' lay-in acoustical tile ceiling with recessed fluorescent light fixtures, enclosure of a coat closet into mechanical space, and the application of gloss varnish to the original paneling.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-80

Subject: Housing and Urban Development Building, Departmental Conference Room, Room #10233

Date: April 1994

Description: View looking north from foyer. Walls and doors are of 3/4" x 3" tongue and groove vertical American Cherry paneling which has had a glossy finish varnish applied. Five original corkboard panels on the east wall, two of them with a blackboard, have been covered with fabric. A new lay-in 2' x 4' acoustical tile ceiling with recessed fluorescent lights, security lights and surface mounted track lights has been installed to replace an original rough finished acoustical tile ceiling. A rear projection screen on the north end of the room has been replaced with a new screen and overhead projector mounted on the ceiling. Two skeleton dial clocks have been removed and have been replaced with new clocks. Original carpeting has been replaced.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-81

Subject: Housing and Urban Development Building, Departmental Conference Room (Room #10233)

Date: July 1994

Description: View looking south from front of room. Walls and doors are of 3/4" x 3" tongue and groove vertical American Cherry paneling which has had a glossy finish varnish applied. Speakers have been mounted on the four rounded corners of the walls. On the left (east) wall are five original panels on the east wall, two of them with a blackboard, which were originally of corkboard but have since been covered with fabric. A new lay-in acoustical tile ceiling with recessed fluorescent lights, sprinklers, surface mounted track lights and security lights have been installed to replace an original rough finished acoustical tile ceiling. On the east end of the foyer, a coat closet has been converted to mechanical space; the vent is visible to the left of the double entry doors. Hardware on the double doors is broken and the doors do not close properly. Carpeting has been replaced.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-82

Subject: Housing and Urban Development Building, Departmental Conference Room, Room #10233

Date: July 1994

Description: View of east wall with five original panels. Center panels open with an original blackboard inside. Panels were originally corkboard, they have been covered with fabric. Also visible is a new clock, security light and speaker, which have been mounted on the wall.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-83

Subject: Housing and Urban Development Building, Departmental Conference Room, Room #10233

Date: July 1994

Description: View of one of five ash plywood paneled closets on the west wall. The inside of the closet door reveals the original flat finish on the cherry paneling.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-84

Subject: Housing and Urban Development Building, Deputy Secretary's Suite, Southeast Corner, Tenth Floor

Date: July 1994

Description: Main entrance to wing showing new glass partition wall containing paired doors with brass hardware.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-85

Subject: Housing and Urban Development Building, Secretary's Suite, Southwest Corner, Tenth Floor

Date: July 1994

Description: Main entrance doors into Suite. Note 3/4" x 3" tongue and groove American Cherry paneling, which has been varnished, and original brass letters, hardware and push plate.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-86

Subject: Housing and Urban Development Building, Secretary's Suite, Southwest Corner, Tenth Floor

Date: July 1994

Description: View looking from main doors looking east into reception area. Note exposed concrete wall on left, original recessed 30-3/8" diameter acrylic dish light fixtures with six 30-watt fluorescent bulbs above, and 3/4" x 3" tongue and groove American Cherry paneling covering double concrete column. Floors were originally carpeted; they have been recarpeted. A new 12" x 12" rough finished splined acoustical tile ceiling was installed during the sprinklering of the building which replicates the original. A new wall behind the cherry column has been added to create a small office. A new clock replaces a skeleton dial clock on the north exposed concrete wall.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-87

Subject: Housing and Urban Development Building, Deputy Secretary's Suite, Southeast Corner, Tenth Floor

Date: July 1994

Description: View of reception area looking west. Original 3/4" x 3" tongue and groove vertical American cherry paneling which has been varnished covers the concrete column. A new wall and door has been added behind the column to create additional office space. Floors were originally carpeted; carpeting has been replaced. Original rough finished 12" x 12" splined acoustical tile ceilings were replaced with new tile during sprinklering of the building which match the original.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-88

Subject: Housing and Urban Development Building, Secretary's Suite, Southwest Corner, Tenth Floor

Date: July 1994

Description: East end of reception area, showing 3/4" x 3" tongue and groove vertical American Cherry paneled door into secretarial area. Door has original brass letters and hardware. The wall dividing the rooms have paneling and a glass wall with cherry partitions. New acoustical tile ceilings matching the original were added during sprinklering of the building; original recessed 30-3/8" acrylic dish light fixtures remain, which have six 30-watt fluorescent bulbs mounted above. Floors have been recarpeted and cherry paneling has been varnished with a glossy finish.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-89

Subject: Housing and Urban Development Building, Secretary's Suite, Southwest Corner, Tenth Floor

Date: July 1994

Description: Secretarial area, looking east into Secretary's office, showing window with original 2 inch wide gray Venetian blinds, 3/4" x 3" tongue and groove vertical American Cherry paneled interior walls, and original recessed 30-3/8" diameter acrylic dish light fixtures, which have six 30-watt fluorescent bulbs above. New acoustical tile ceilings were added during sprinklering of the building which match the original; cherry paneling has been varnished with a glossy finish. Carpeting and drapes have been replaced.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-90

Subject: Housing and Urban Development Building, Secretary's Suite, Southwest Corner, Tenth Floor

Date: July 1994

Description: Dining room looking west into conference room with 3/4" x 3" vertical tongue and groove American Cherry paneled interior wall and door; the original matte finish has been varnished to a glossy finish. Original 12" x 12" splined acoustical tile ceiling was replaced during sprinklering of building with tile matching original; original light fixtures (listed as Type "G-1" on the Light Fixture Schedule, see Illus. No. 3-27) have been replaced with recessed 30-3/8" diameter ceiling light fixtures with six 30-watt fluorescent bulbs which match the adjacent Secretary's office, secretarial and reception area. Windows have original 2 inch wide gray Venetian blinds; drapes and carpeting have been replaced. The conference room, located through the open doorway, has identical finishes.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-91

Subject: Housing and Urban Development Building, Secretary's Suite, Southwest Corner, Tenth Floor

Date: July 1994

Description: Dining room looking east towards secretarial area with original 3/4" x 3" tongue and groove American Cherry paneled walls and doors; the original matte finish has been varnished to a glossy finish. Original light fixtures (listed as Type "G-1" on the Light Fixture Schedule, see Illus. No. 3-27) have been replaced with recessed 30-3/8" diameter ceiling light fixtures with six 30-watt fluorescent bulbs which match the adjacent Secretary's office, secretarial and reception area. Original acoustical tile was replaced with new 12"x12" splined rough finished acoustical tile ceiling during sprinklering of the building; the tile matches the original. Original drapes and carpeting have been replaced.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

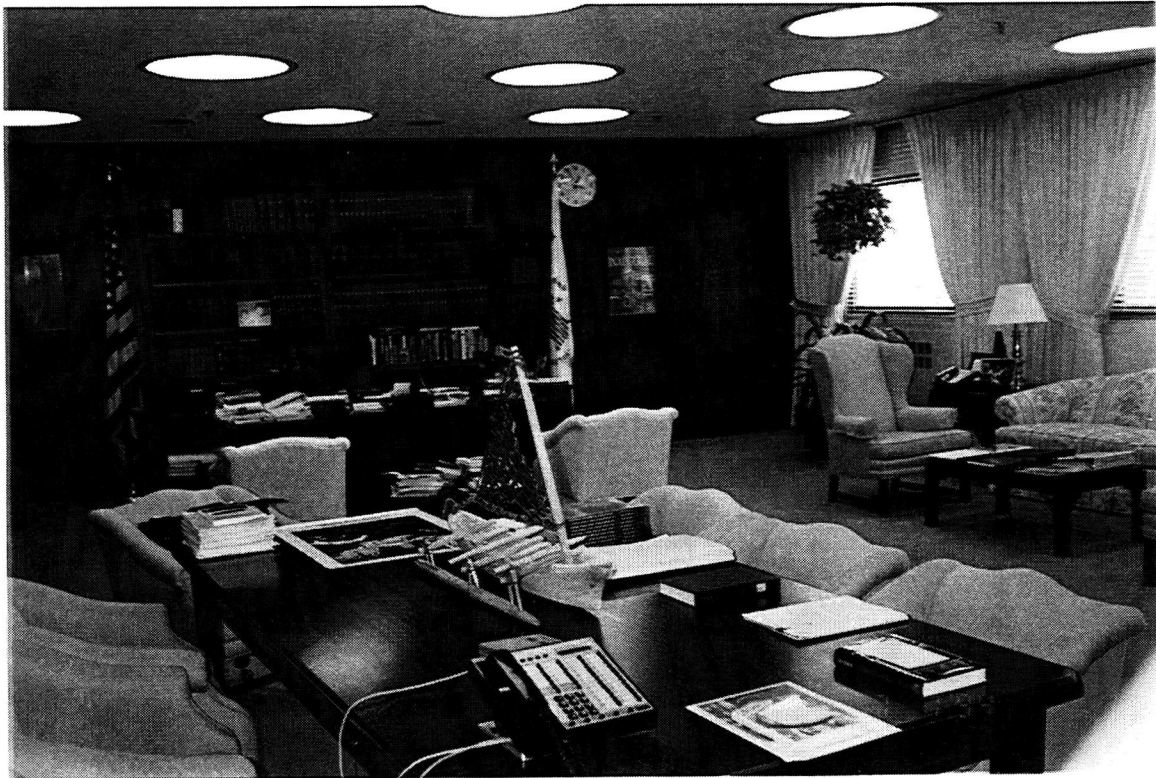


Illustration No. 4-92

Subject: Housing and Urban Development Building, Secretary's Suite, Southwest Corner, Tenth Floor

Date: July 1994

Description: Secretary's office, with original 3/4" x 3" tongue and groove vertical American Cherry paneled walls, doors, and two adjustable built-in bookcases; original matte finishes have been varnished. Original recessed 30-3/8" diameter ceiling light fixtures with six 30-watt fluorescent bulbs remain; original 12" x 12" rough finish splined acoustical tile ceilings were replaced during installation of sprinkler system in 1991-1992 with tile matching the original. Windows have 2 inch gray Venetian blinds. New carpeting and drapes have been installed, as well as a new clock.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-93

Subject: Housing and Urban Development Building, Secretary's Suite, Southwest Corner, Tenth Floor

Date: July 1994

Description: Detail of 3/4" x 3" vertical tongue and groove American Cherry paneled door leading into reception area. The door was relocated from the center of the office to the corner of the office when additional office space was created out of a portion of the reception area. The door has brass hardware.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

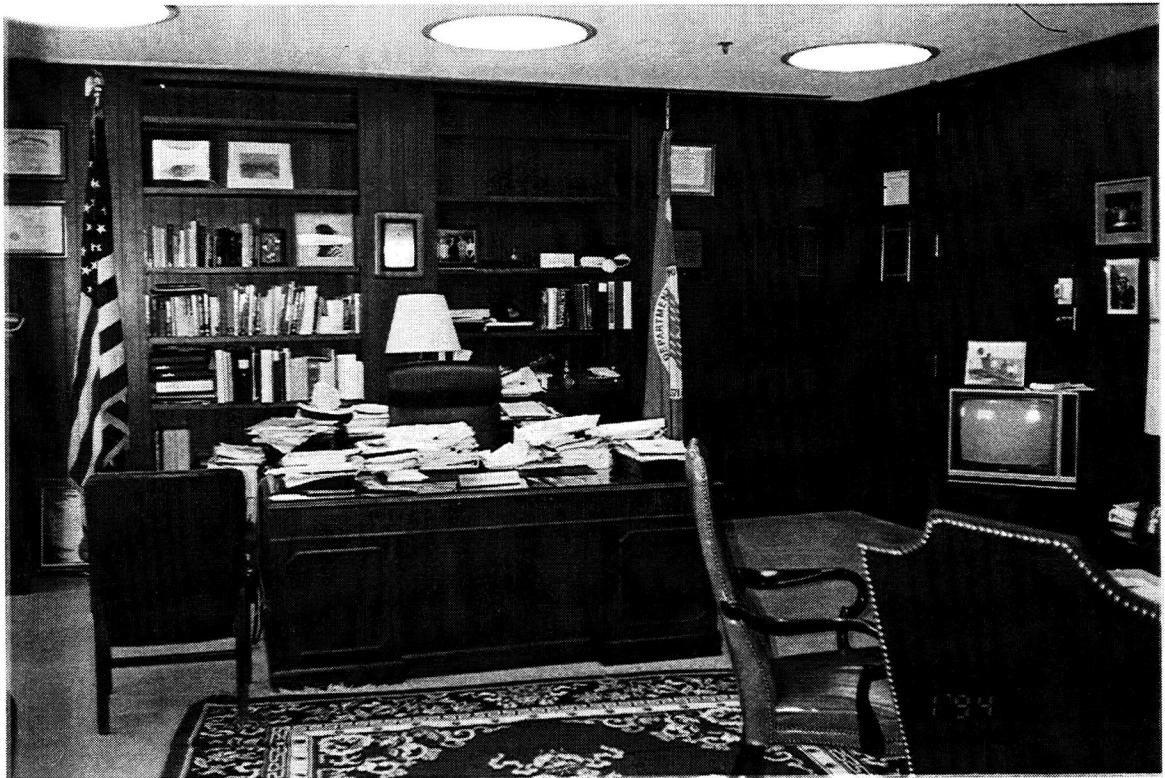


Illustration No. 4-94

Subject: Housing and Urban Development Building, Deputy Secretary's Suite, Southeast Corner, Tenth Floor

Date: July 1994

Description: Deputy Secretary's office, with 3/4" x 3" tongue and groove vertical American Cherry paneled walls, doors, and two adjustable built-in bookcases; varnish has been applied to original matte finish on paneling. Original recessed 30-3/8" diameter ceiling light fixtures with six 30-watt fluorescent bulbs mounted above remain in new 12" x 12" rough finished splined acoustical tile ceilings, which was replacing during sprinklering of the building in 1991-1992. New ceiling tile matches the original. Carpeting and drapes have been replaced; windows also have 2" wide gray Venetian blinds. One door behind the desk leads to the Secretary's office; another leads to a private bath.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-95

Subject: Housing and Urban Development Building, Deputy Secretary's Suite, Southeast Corner, Tenth Floor

Date: July 1994

Description: Conference Room, with 3/4" x 3" tongue and groove vertical American Cherry paneled walls and doors with curved corners on the inside walls; original recessed 30-3/8" diameter ceiling light fixtures with six 30-watt fluorescent bulbs mounted above set in new 12" x 12" rough finish splined acoustical tile which matches the original. The tile was replaced during sprinklering of the building in 1991-1992. Windows have 2 inch wide gray Venetian blinds; drapes have been replaced, as has carpeting. A new clock has been added, replacing the original skeleton dial clock. Two closets are located on either side of the door to the main corridor. The paneling, originally a flat finish, has been varnished with a glossy finish.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-96

Subject: Housing and Urban Development Building, Secretary's Suite, Southwest Corner, Tenth Floor

Date: July 1994

Description: Typical original brass hardware in executive offices, looking west from Secretary's dressing room into office.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-97

Subject: Housing and Urban Development Building, Departmental Conference Room, (Room #10233)

Date: July 1994

Description: Typical original door hardware closer.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects



Illustration No. 4-98

Subject: Housing and Urban Development Building, Secretary's Suite, Southwest Corner, Tenth Floor

Date: July 1994

Description: Door to suite showing typical original brass hardware.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects



Illustration No. 4-99

Subject: Housing and Urban Development Building, Secretary's Suite, Southwest Corner, Tenth Floor

Date: July 1994

Description: Typical original brass door hinge.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

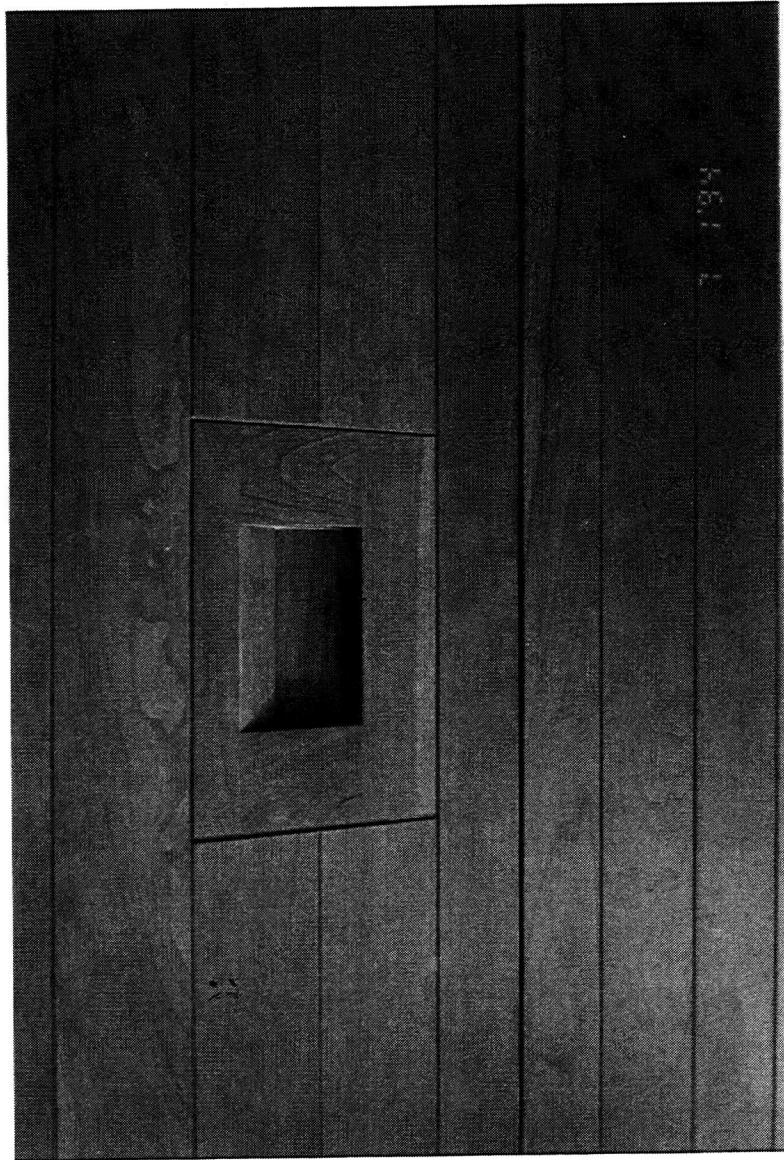


Illustration No. 4-100

Subject: Housing and Urban Development Building, Secretary's Suite, Southwest Corner, Tenth Floor

Date: July 1994

Description: Detail of closet door opener in reception area.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

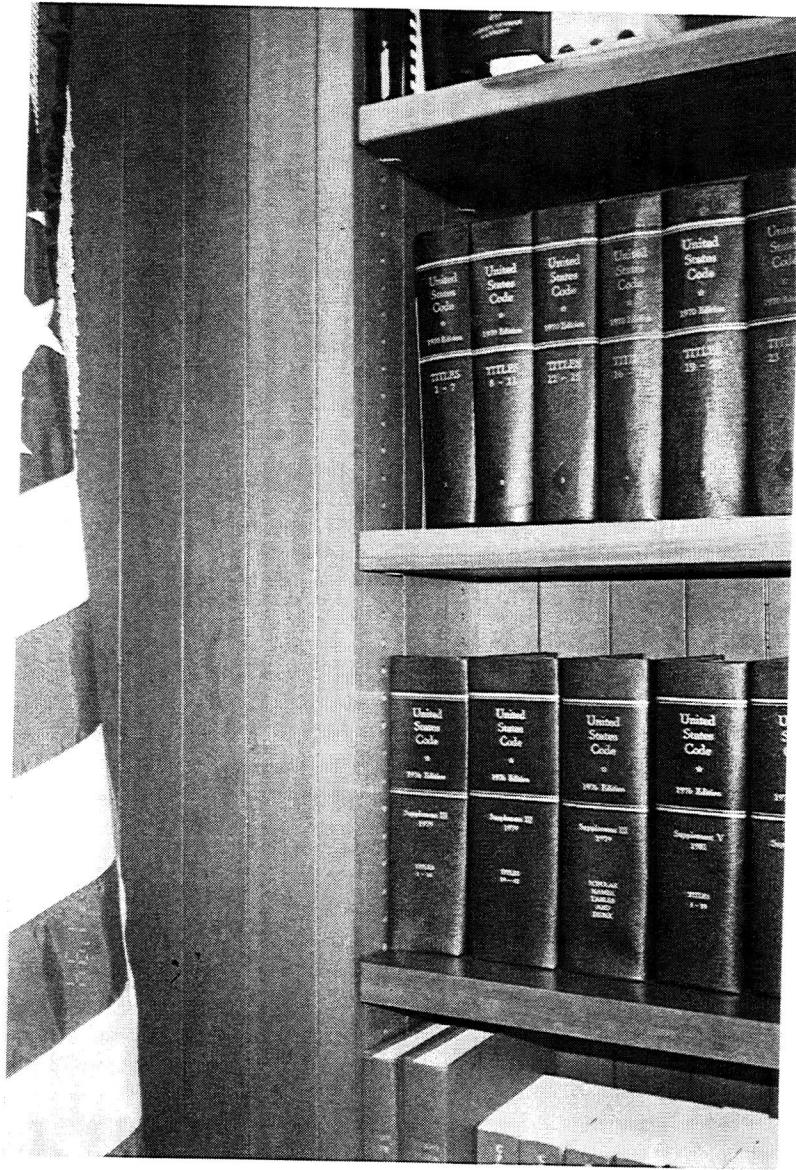


Illustration No. 4-101

Subject: Housing and Urban Development Building, Secretary's Suite, Southwest Corner, Tenth Floor

Date: July 1994

Description: Secretary's office, showing detail of built-in adjustable cherry bookcases.

Photographer: Reed A. Black, AIA

Source: Oehrlein & Associates Architects

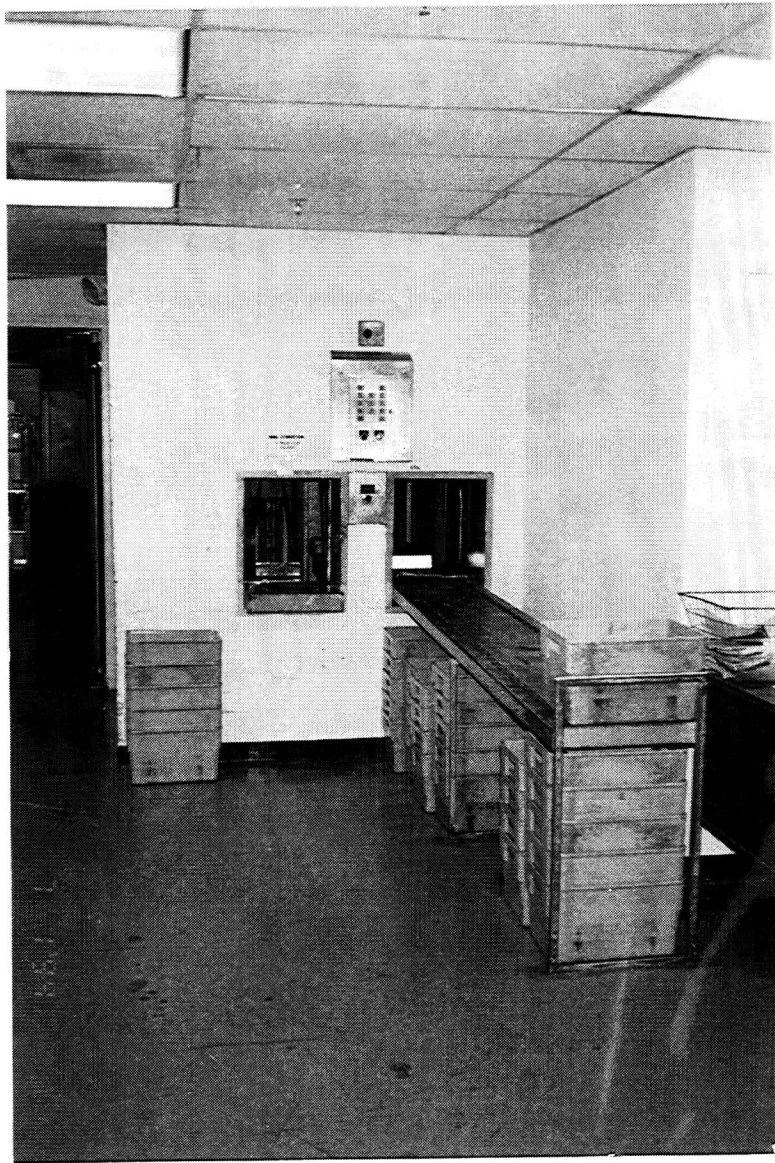


Illustration No. 4-102

Subject: Housing and Urban Development Building, Basement Mail Room

Date: July 1994

Description: Selective Vertical (Mail) Conveyor, main station. Note the tote boxes, the sending and receiving stations and floor selector switch. The conveyor here is longer than the typical conveyors at the other floors. The conveyor system was designed to handle the model "A" tote boxes with exterior dimensions of 12" wide x 10" deep x 16" long, with a capacity of 40 pounds. The system served the sub-basement, basement and second through tenth floors, with no station at the first floor.

Photographer: Mary Jane Klingelhofer

Source: Oehrlein & Associates Architects